

ZIGGI'S COFFEE-LAFAYETTE

LOT 5C, SOLA SUBDIVISION FILING NO. 1, REPLAT C,  
COUNTY OF BOULDER, STATE OF COLORADO

MAH  
Architectural  
Group

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SITE NOTES

1. PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
3. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY MAH ARCHITECTURAL GROUP OF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
4. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTORS FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
5. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS, AND THE SOILS REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING THEM WITH SUITABLE MATERIALS PER THE CIVIL DRAWINGS AND SOILS REPORT. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITHIN THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THE SOILS REPORT.
6. ARCHITECTURAL FEATURES (I.E. BAY WINDOWS, FIREPLACES, ROOF OVERHANGS, FOUNDATIONS, FOOTINGS, CANTILEVERED WALLS, ETC.) ARE NOT ALLOWED TO ENCROACH INTO ANY EASEMENT OR FIRE LANE.
7. HANDICAP ACCESS TO BUILDING IS DESIGNED ACCORDING TO APPLICABLE CODE. G.C. TO ENSURE THAT ALL DIRECTIONS AND DIMENSIONS GIVEN ARE STRICTLY ADHERED TO. IF CHANGES ARE MADE THAT CONTRADICT WITH THE DRAWING, OR IF EXISTING FIELD CONDITIONS MAKE THE DRAWINGS NOT AFFLIGABLE, THE ARCHITECT MUST BE CONTACTED IMMEDIATELY.
8. WATER SERVICE MATERIALS SHALL BE COPPER TYPE "K". DIAMETER SHALL BE AS NOTED ON THESE PLANS AND SHALL BE INSTALLED WITH 24" MINIMUM COVER OR BELOW FROSTLINE WHICH EVER IS GREATER. CONTRACTORS PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
9. OWNER SHALL MONITOR NOISE LEVELS TO REMAIN WITHIN LIMITS OF CITY CODE.
10. REFER TO CIVIL FOR MORE INFORMATION.

SITE DATA TABLE

ZONING	C-1 REGIONAL BUSINESS & PLANNED UNIT DEVELOPMENT				
SITE DEVELOPMENT AREA	31,156 SQ. FT. OR 0.733 ACRES				
LAND USE	DRIVE-THROUGH COFFEE SHOP				
BUILDING OCCUPANCY	A-2 (ASSEMBLY)				
TYPE OF CONSTRUCTION	V-B				
BUILDING INFORMATION	1. BUILDING S.F.: 1,832 S.F. 2. NUMBER OF STORIES: (1) STORY				
BUILDING HEIGHT	35'-0" MAXIMUM	22'-6" PROPOSED			
SETBACKS	20' FRONT SETBACK REQUIRED 0' SIDE SETBACKS REQUIRED 0' REAR SETBACK REQUIRED	28' FRONT SETBACK PROVIDED 0' SIDE SETBACKS PROVIDED 12' REAR SETBACK PROVIDED			
PARKING	(13) SPACES REQUIRED  (1 SPACE / 150 SF FLOOR AREA) 1,832 / 150 = 12.21 = 13	(17) SPACES PROPOSED * (16) ON-SITE STANDARD PARKING SPACES @ 9'X19' * (1) ON-SITE ADA AND VAN ACCESSIBLE PARKING SPACE @ 9'X19' W/ ADJACENT ACCESS AISLE 8'X19'			
CAR STACKING	(14) STACKING SPACES PROVIDED				
BICYCLE PARKING	(4) SPACES PROVIDED				
UTILITY PROVIDERS	1. WATER: CITY OF LAFAYETTE 2. WASTEWATER: CITY OF LAFAYETTE 3. POWER: XCEL				
AREA OF LANDSCAPING	9,645 S.F.	30.19%			
AREA OF SIDEWALK AND PATIO	3,694 S.F.	11.57%			
AREA OF BUILDING COVERAGE	1,832 S.F.	5.74%			
AREA OF DRIVEWAYS AND PARKING	16,769 S.F.	52.50%			

PROJECT INFORMATION

PROJECT: NEW DRIVE-THROUGH COFFEE BUILDING

PROJECT ADDRESS: 2396 BALMSTONE DRIVE  
LAFAYETTE CO 80026

LEGAL DESCRIPTION: LOT 5C, SOLA SUBDIVISION FILING NO. 1, REPLAT C,  
COUNTY OF BOULDER, STATE OF COLORADO

SCOPE OF WORK

PROJECT SCOPE INCLUDES NEW BUILDING AND ASSOCIATED SITE WORK.

NEW SITE WORK INCLUDES: GRADING, CONCRETE CURBS AND DRIVEWAYS, CONCRETE SIDEWALKS / PATIOS, PARKING LOT AND PEDESTRIAN LIGHTS, TRASH ENCLOSURE, BIKE RACKS, LANDSCAPING, UTILITIES, AND STREETScape AS NOTED ON PLANS.

NEW BUILDING WORK INCLUDES: CONCRETE FOUNDATIONS AND SLAB, EXTERIOR WALLS / CANOPIES / LIGHT FIXTURES, ROOFING, AND ELECTRICAL PANELS / LIGHTING / TELEPHONE CONDUIT.

SITE SIGNAGE UNDER SEPARATE PERMIT.

PROJECT CONTACTS

ARCHITECT:  
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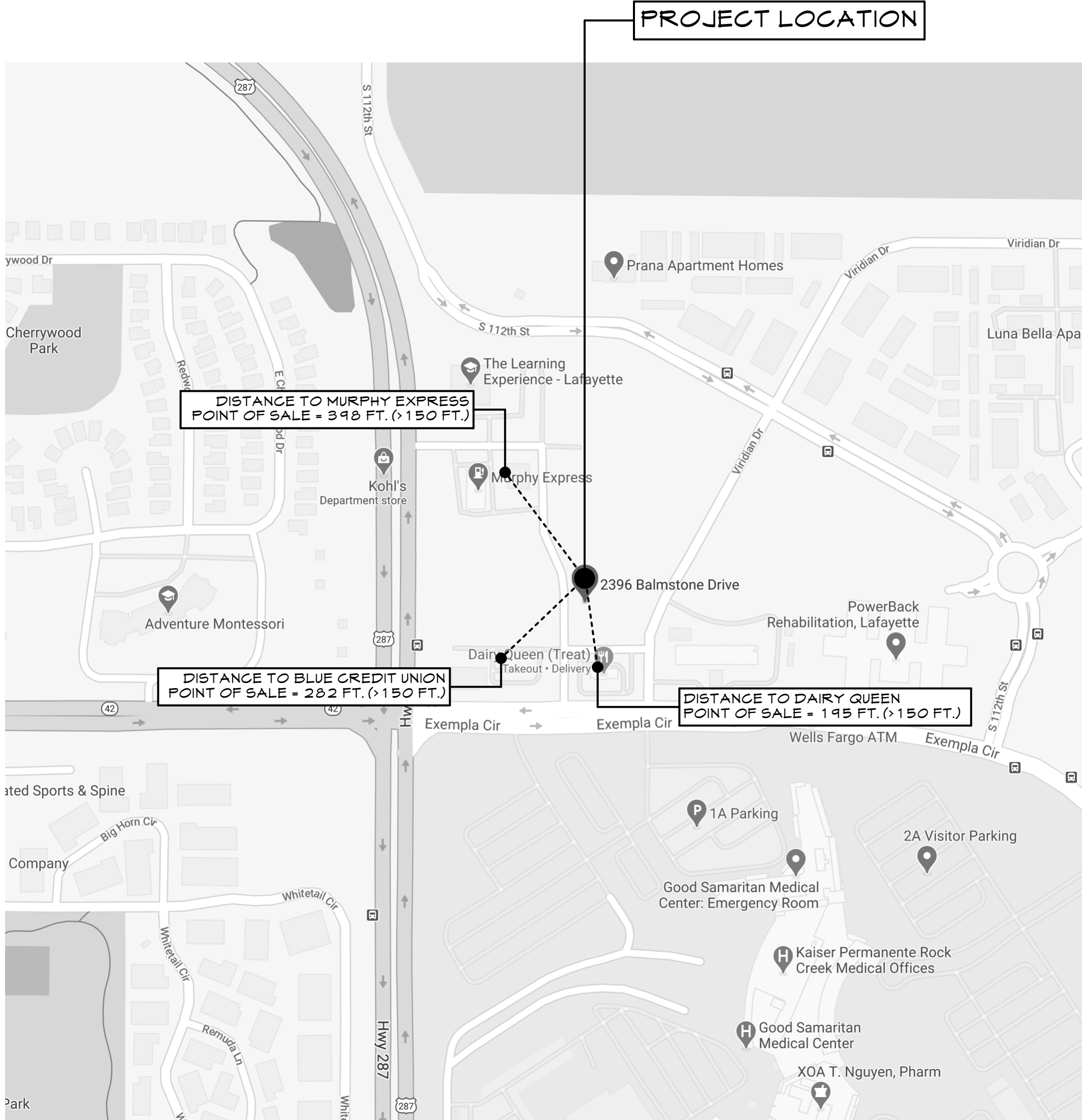
TRAFFIC ENGINEER:  
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DRAWING INDEX

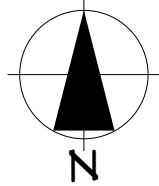
ARCHITECTURAL  
A0.0 ARCHITECTURAL COVER SHEET  
A1.0 ARCHITECTURAL SITE PLAN  
A1.1 ARCHITECTURAL SITE DETAILS  
A1.2 MENU BOARD DETAILS  
A2.0 TRASH ENCLOSURE  
A3.0 EXTERIOR ELEVATIONS (1)  
A3.1 EXTERIOR ELEVATIONS (2)  
A3.2 BUILDING PERSPECTIVES  
A4.0 SITE PHOTOMETRIC PLAN  
A4.1 LIGHT FIXTURES

CIVIL  
C2.0 SITE PLAN  
C3.0 GRADING PLAN  
C4.0 UTILITY PLAN  
C5.0 PRIVATE DETAILS (1)  
C5.1 PRIVATE DETAILS (2)

LANDSCAPE AND IRRIGATION  
L1.0 LANDSCAPE PLAN  
L1.1 LANDSCAPE DETAILS  
L1.0 IRRIGATION PLAN  
L1.1 IRRIGATION DETAILS  
L1.2 IRRIGATION DETAILS



1 VICINITY PLAN  
A0.0 NOT TO SCALE



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Scale		
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Date Drawn		
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Description		
ARCHITECTURAL COVER SHEET		
Sheet Number		
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KEYED NOTES XX

- 1

LOCATION FOR NEW ILLUMINATED MENU BOARD AND ORDERING STATION. PROVIDE POWER FOR LIGHTING AND CONDUIT WITH FULL STRING FOR COMMUNICATIONS CONNECTIONS. SEE DETAILS ON SHEET A.1.2.
- 2

NEW ELECTRICAL TRANSFORMER WITH CONCRETE PAD. PAINT TO MATCH NEW BUILDING FIELD COLOR. COORDINATE AS REQUIRED WITH UTILITY PROVIDER.
- 3

NEW PARKING LOT LIGHT AT 20'-0" ABOVE GRADE WITH CONCRETE BASE. SEE DETAIL 1/A.1.1. PROVIDE EMPTY 1" Ø CONDUIT FROM BUILDING TO LIGHT POLE FOR OWNER FURNISHED FUTURE SECURITY CAMERA(S). PROVIDE JUNCTION BOX AT EACH END. COORDINATE FINAL LOCATION WITH OWNER.
- 4

LOCATION FOR NEW GUM BLOCK TRASH ENCLOSURE WITH STONE VENEER FINISH AND PAINTED STEEL GATE. SEE DETAIL 1/A.2.0.
- 5

NEW ADA SIDEWALK CURB RAMP. SLOPE TO BE 1:12 MAX.
- 6

LOCATION FOR NEW BICYCLE RACK. SEE DETAIL 8/A.1.1.
- 7

NEW ADA PARKING SIGN. SEE DETAIL 5/A.1.1.
- 8

NEW VAN ACCESSIBLE ADA PARKING STALL. ALL SIGNAGE AND STRIPING TO MEET EXISTING CITY STANDARDS. SEE DETAIL 9/A.1.1.
- 9

NEW CONCRETE PATIO WITH SCORED CONTROL JOINTS AT 10'-0" O.C. BOTH DIRECTIONS. TYP.
- 10

NEW PAINTED TRAFFIC ARROWS AND/OR NEW PAINTED LETTERS AS INDICATED. SEE DETAIL 4/A.1.1.
- 11

NEW STOP SIGN AND/OR PAINTED STOP BAR AS INDICATED. ALL SIGNAGE AND STRIPING TO MEET EXISTING CITY STANDARDS.
- 12

NEW CONCRETE SIDEWALK WITH CONTROL JOINTS AT 5'-0" O.C. PER CIVIL.
- 13

NEW PAINTED PEDESTRIAN CROSSING STRIPING AS SHOWN.
- 14

NEW 6" DIA. CONCRETE FILLED STEEL BOLLARD TO BE PAINTED YELLOW. SEE DETAIL 6/A.1.1.
- 15

NEW ELECTRICAL SWITCHGEAR PAINT TO MATCH ADJACENT WALL. SWITCHGEAR TO BE SCREENED BY LANDSCAPING. SEE LANDSCAPE PLAN.
- 16

LOCATION FOR NEW IRRIGATION BACKFLOW PREVENTER AND ASSOCIATED CONTROL VALVES. EQUIPMENT TO BE SCREENED BY LANDSCAPING. SEE LANDSCAPE PLANS.
- 17

NEW OVERHEAD CLEARANCE BAR SUSPENDED +10'-0" ABOVE PAVEMENT.
- 18

NEW CONCRETE PAVING PER CIVIL.
- 19

NEW ASPHALT PAVING PER CIVIL.
- 20

NEW LANDSCAPING.
- 21

NEW FLATTENED CURB. TYP. BOTH SIDES OF DRIVE AISLE AROUND FULL LENGTH OF CURVE AS SHOWN. SEE CIVIL DRAWINGS.
- 22

LOCATION FOR NEW MONUMENT SIGN. OWNER TO PROVIDE SIGN. GENERAL CONTRACTOR TO PROVIDE POWER AND ALL ASSOCIATED CONDUIT TO MONUMENT SIGN PER ELECTRICAL AND FOUNDATION PER STRUCTURAL.
- 23

NEW OWNER FURNISHED. CONTRACTOR INSTALLED "DO NOT ENTER" SIGNAGE. COORDINATE ALL INSTALLATION REQUIREMENTS AND FINAL LOCATION FOR SIGNAGE WITH OWNER.
- 24

NEW OWNER FURNISHED. CONTRACTOR INSTALLED "ENTER" SIGNAGE AT DRIVE-THRU LANE ENTRY. COORDINATE ALL INSTALLATION REQUIREMENTS AND FINAL LOCATION FOR SIGNAGE WITH OWNER.
- 25

NEW DESIGNATED ELECTRIC CAR CHARGING PARKING STALL NEW ASSOCIATED SIGN.
- 26

PORTION OF EXISTING CURB AND GUTTER TO REMAIN. TIE EXISTING CURB AND GUTTER INTO NEW CURB AND GUTTER SYSTEM AS INDICATED. SEE CIVIL DRAWINGS.
- 27

EXISTING FIRE HYDRANT TO REMAIN.
- 28

EXISTING SIDEWALK TO REMAIN.
- 29

NEW WHEEL STOP.
- 30

EXISTING ADA CURB RAMP TO REMAIN.
- 31

EXISTING CURB CUT TO REMAIN TO ACCOMMODATE FUTURE INTERNAL DRIVE LANE.
- 32

NEW PAINTED STRIPING AS INDICATED.
- 33

NEW DESIGNATED SMALL CAR PARKING SPACE.
- 34

NEW RETAINING WALL PER CIVIL.
- 35

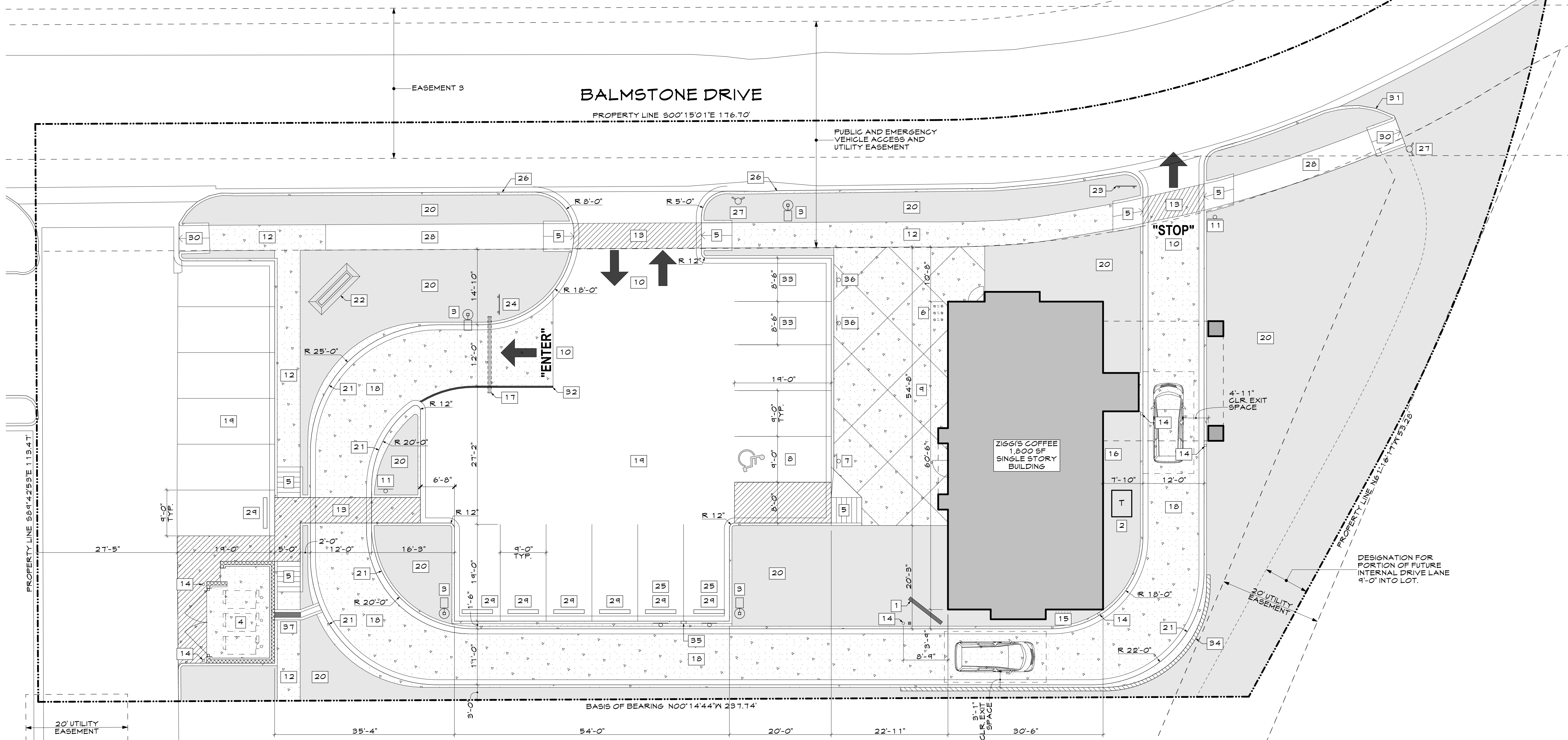
NEW BOLLARD-MOUNTED ELECTRIC CAR CHARGING STATION TO SERVE TWO (2) DESIGNATED STALLS.
- 36

NEW SMALL CAR PARKING SIGN.
- 37

NEW SIDEWALK CHASE PER CIVIL.

ANY SIGNAGE IS INDICATED IS SHOWN FOR REFERENCE ONLY.

ALL SIGN LOCATIONS SHOWN ON THE SITE PLAN ARE SUBJECT TO CHANGE BASED UPON SIGN DESIGN DETAILS. ALL SIGNAGE, INCLUDING FREESTANDING SIGNS, WALL SIGNS, AND MENU BOARDS, SHALL COMPLY WITH THE CITY'S SIGN ORDINANCE. A SEPARATE PERMIT WILL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.



Notes

DO NOT SCALE THE DRAWINGS.

Request verification of dimensions from the Architect as required.

The General Contractor shall check and verify all levels, datums and dimensions and shall report any and all errors and omissions to the Architect immediately.

This drawing is to be read in conjunction with structural, mechanical, electrical and/or any other consultants drawings that may be applicable.

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Scale	
1"=10'-0"	
Date Drawn	
DECEMBER 4, 2020	
Drawn By	
ASE	
Description	
ARCHITECTURAL SITE PLAN	
Sheet Number	
A1.0	



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VARIES-SEE PLAN

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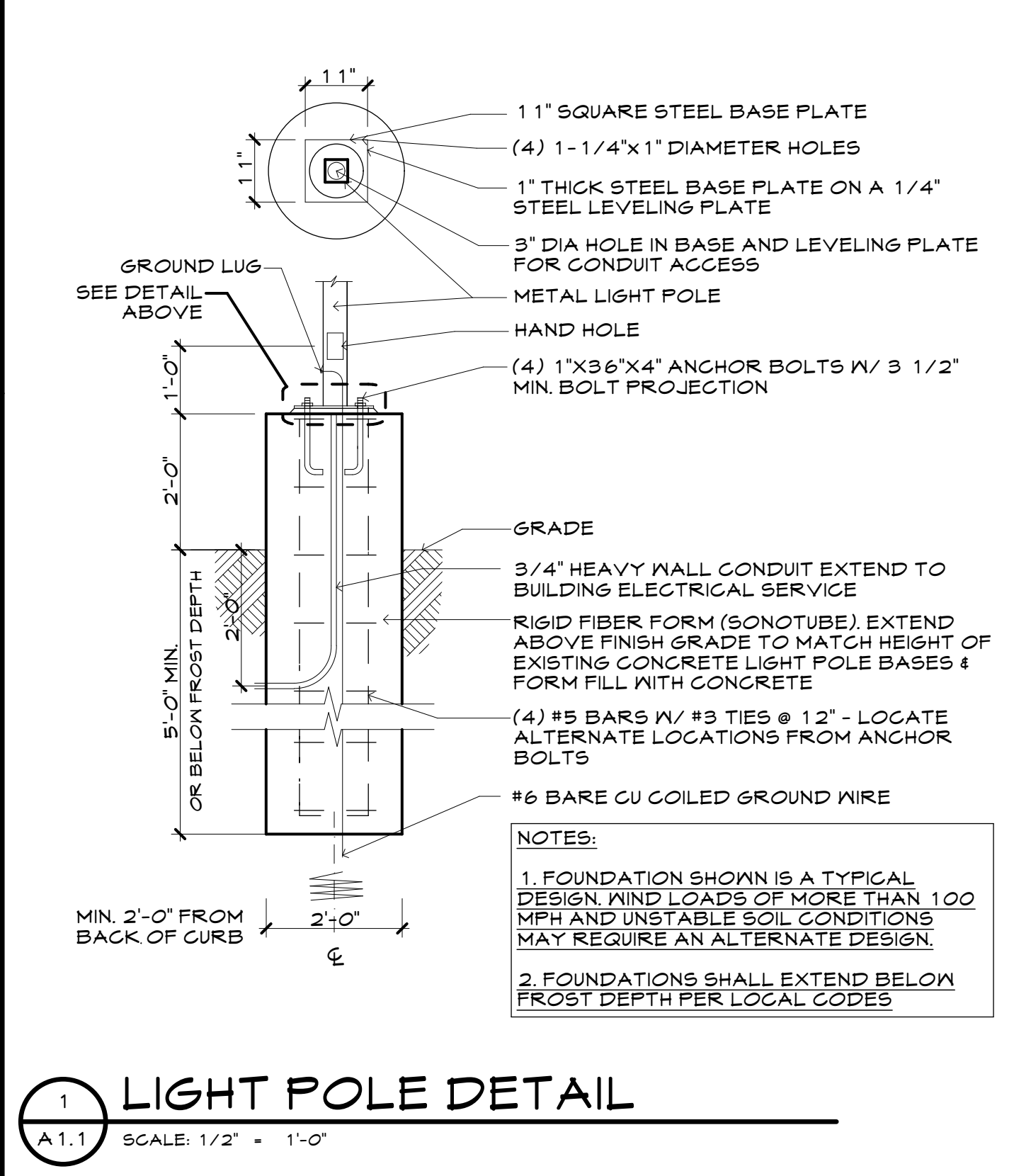
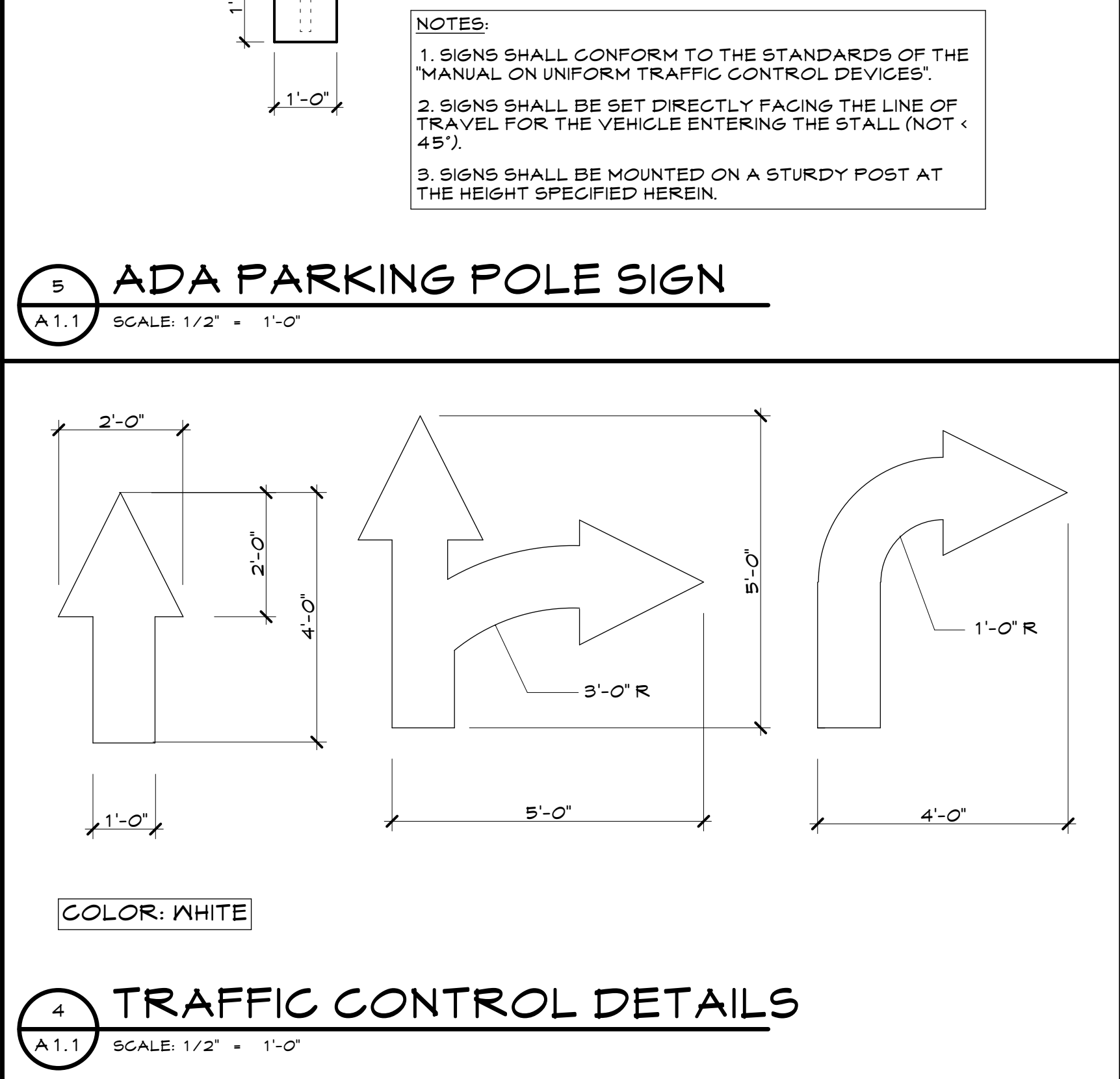
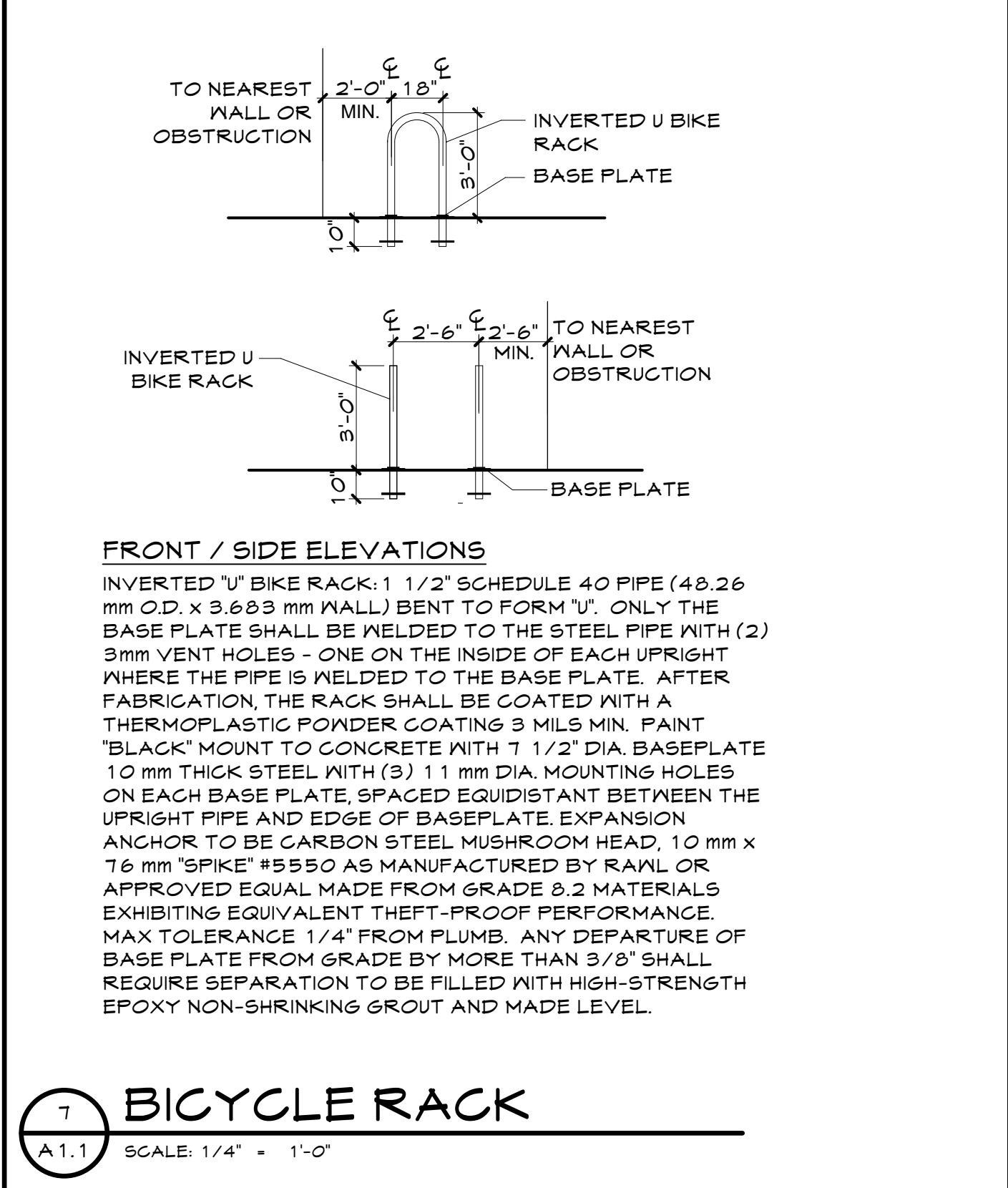
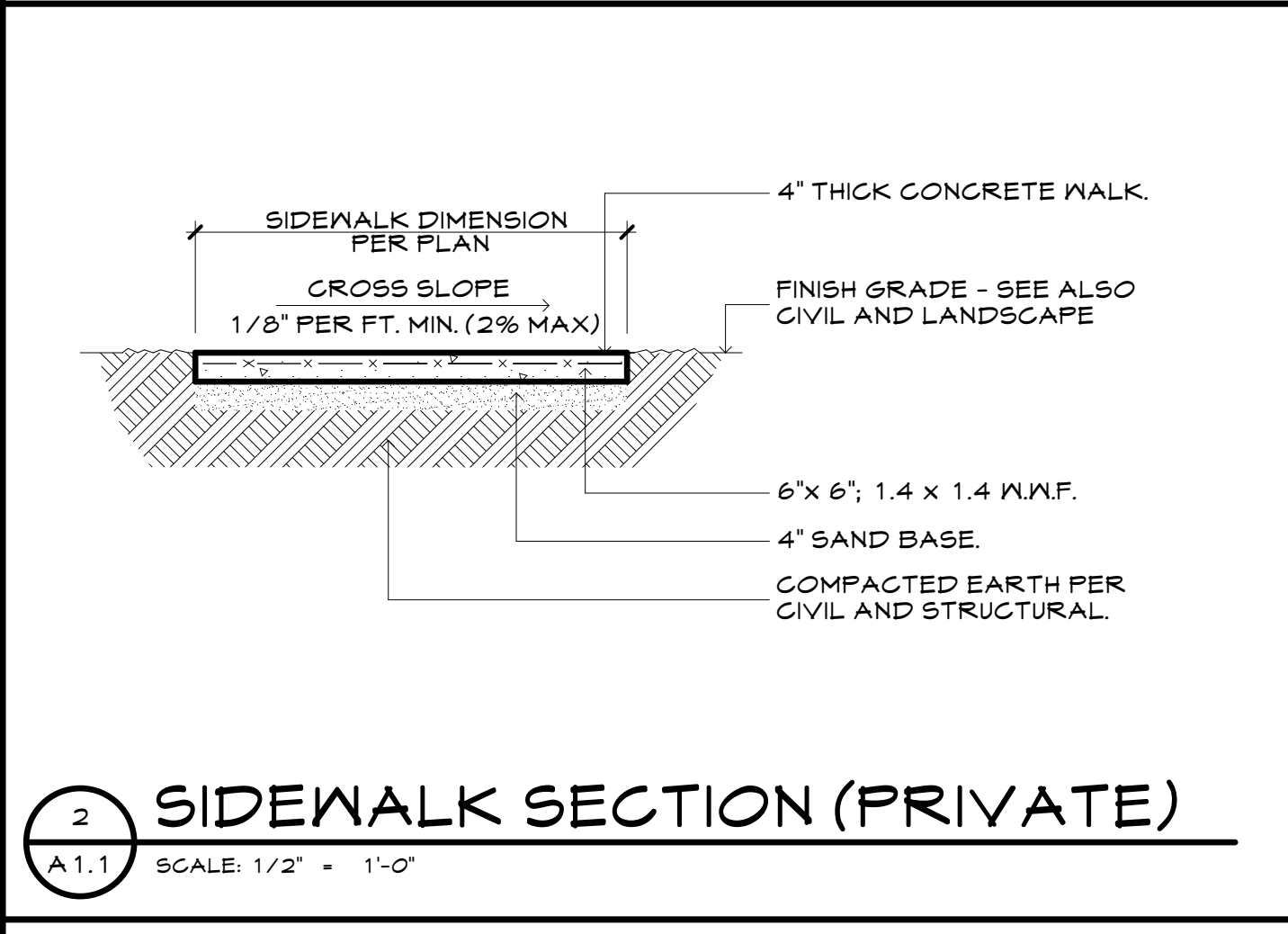
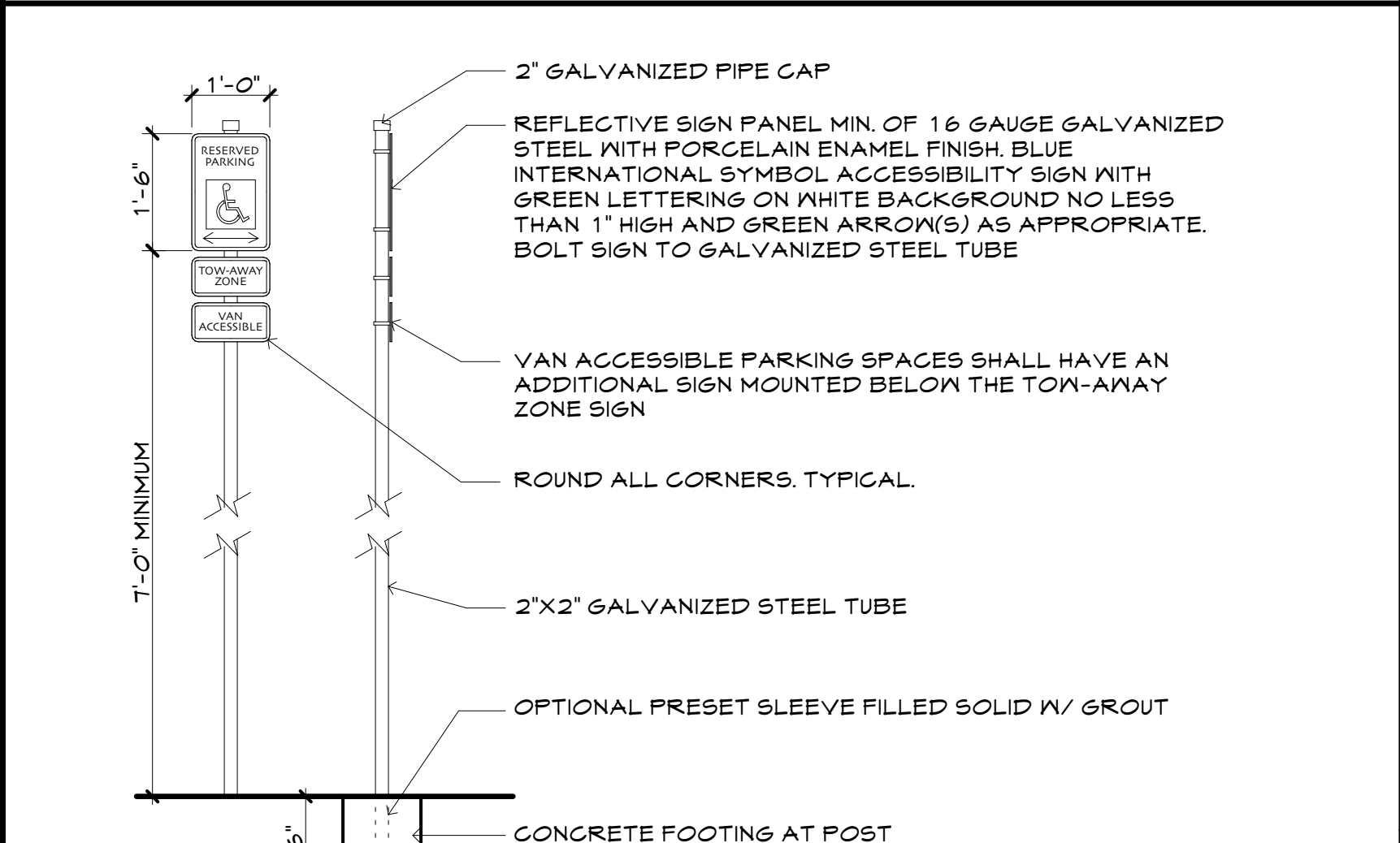
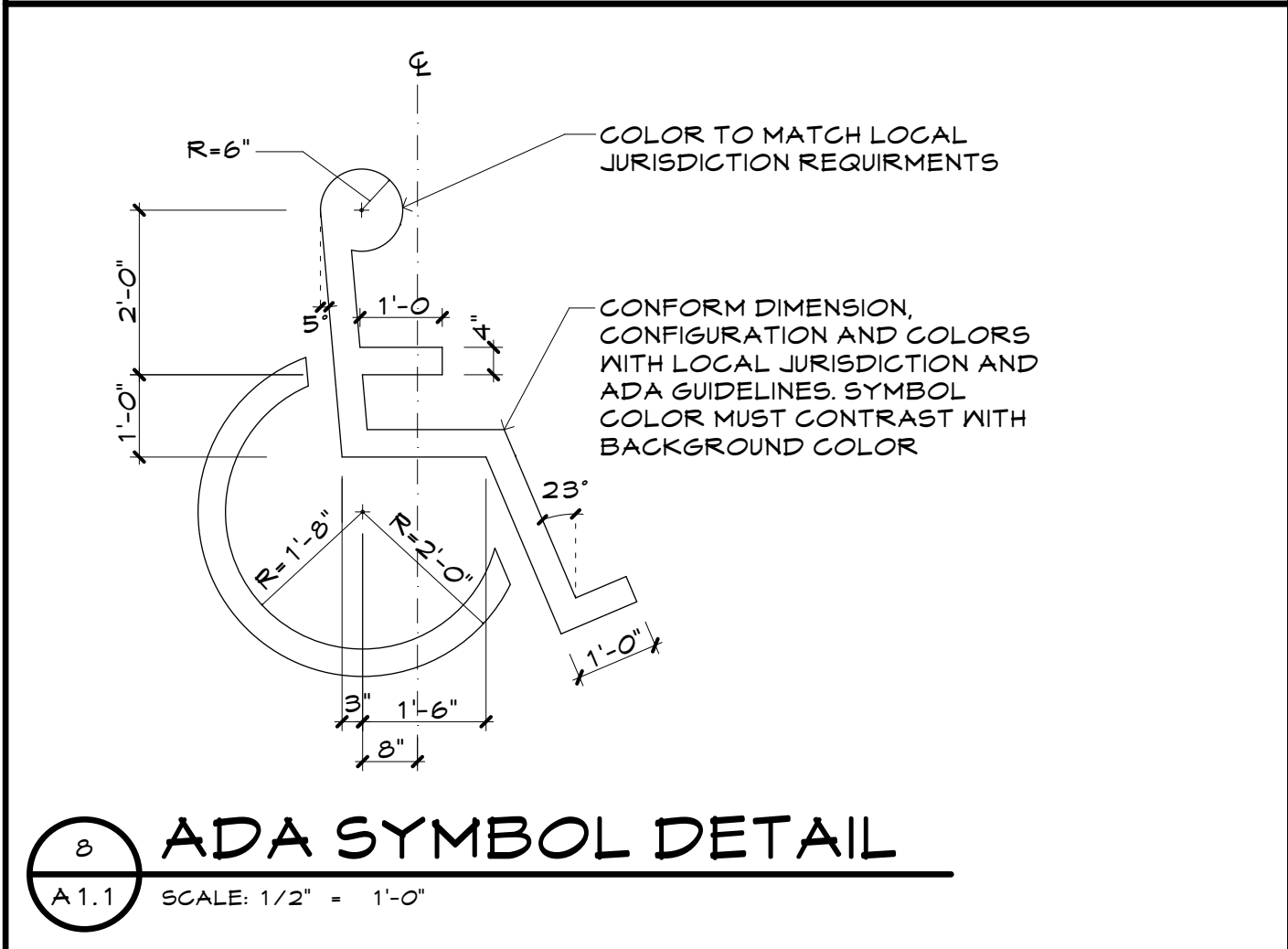
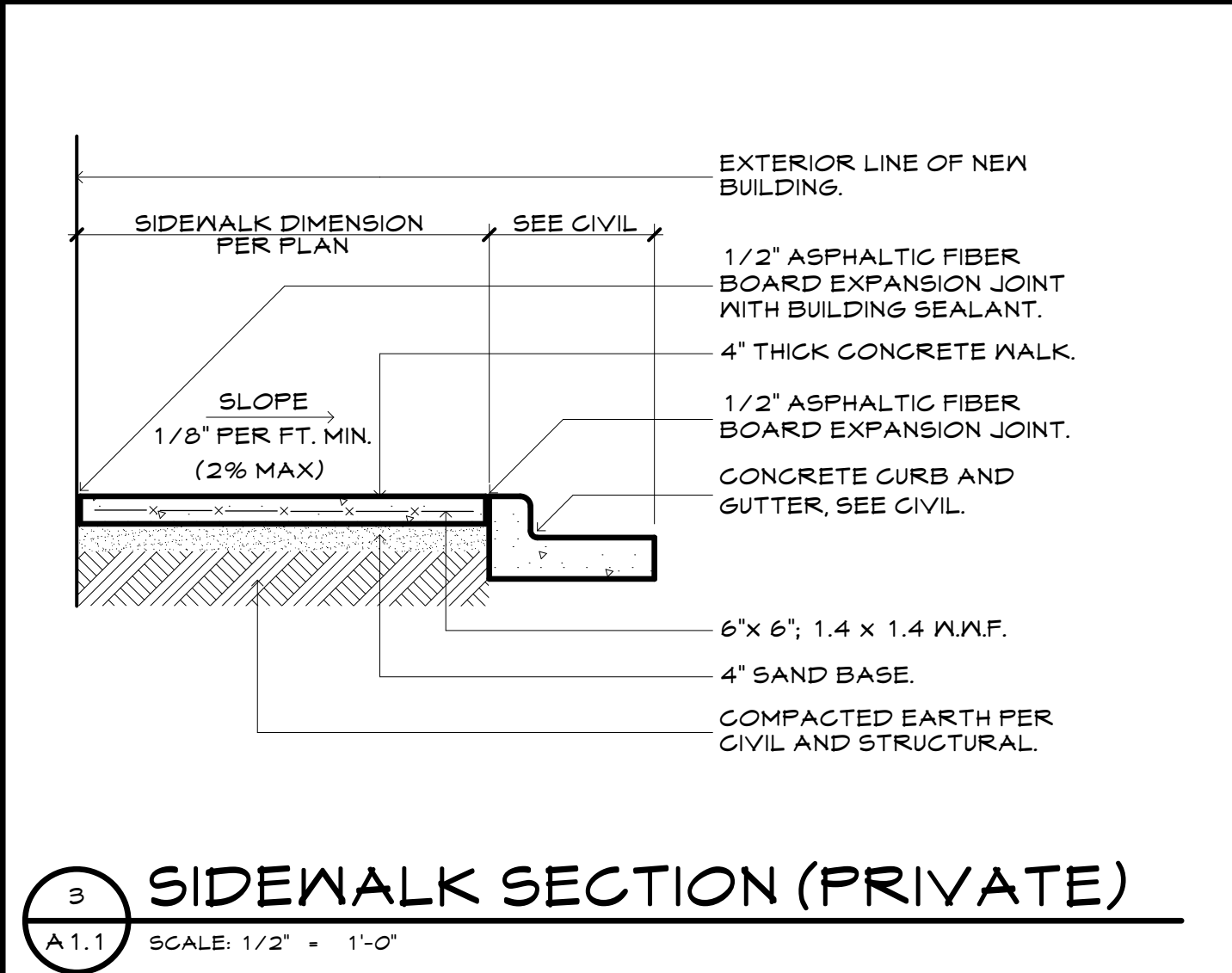
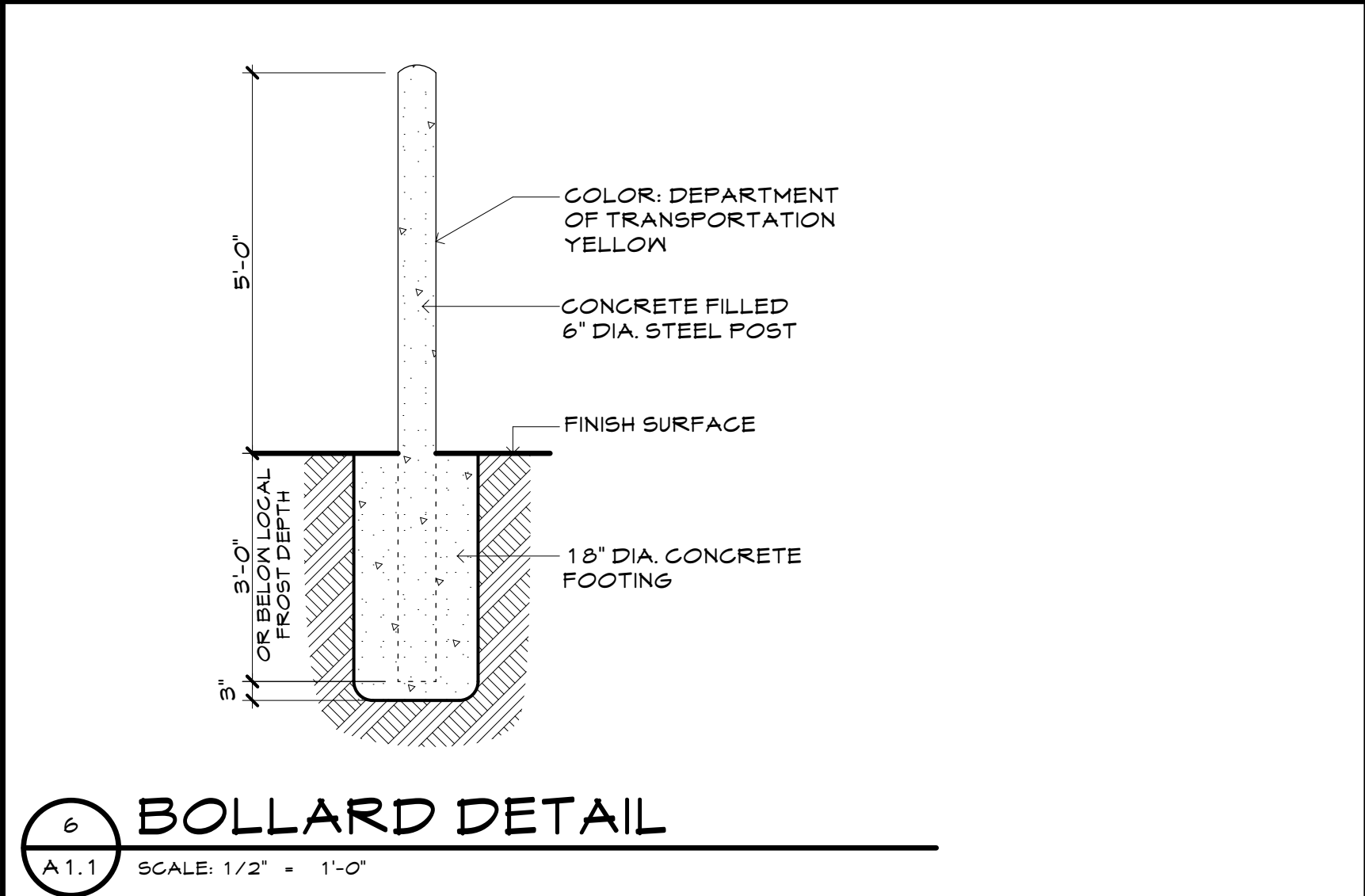
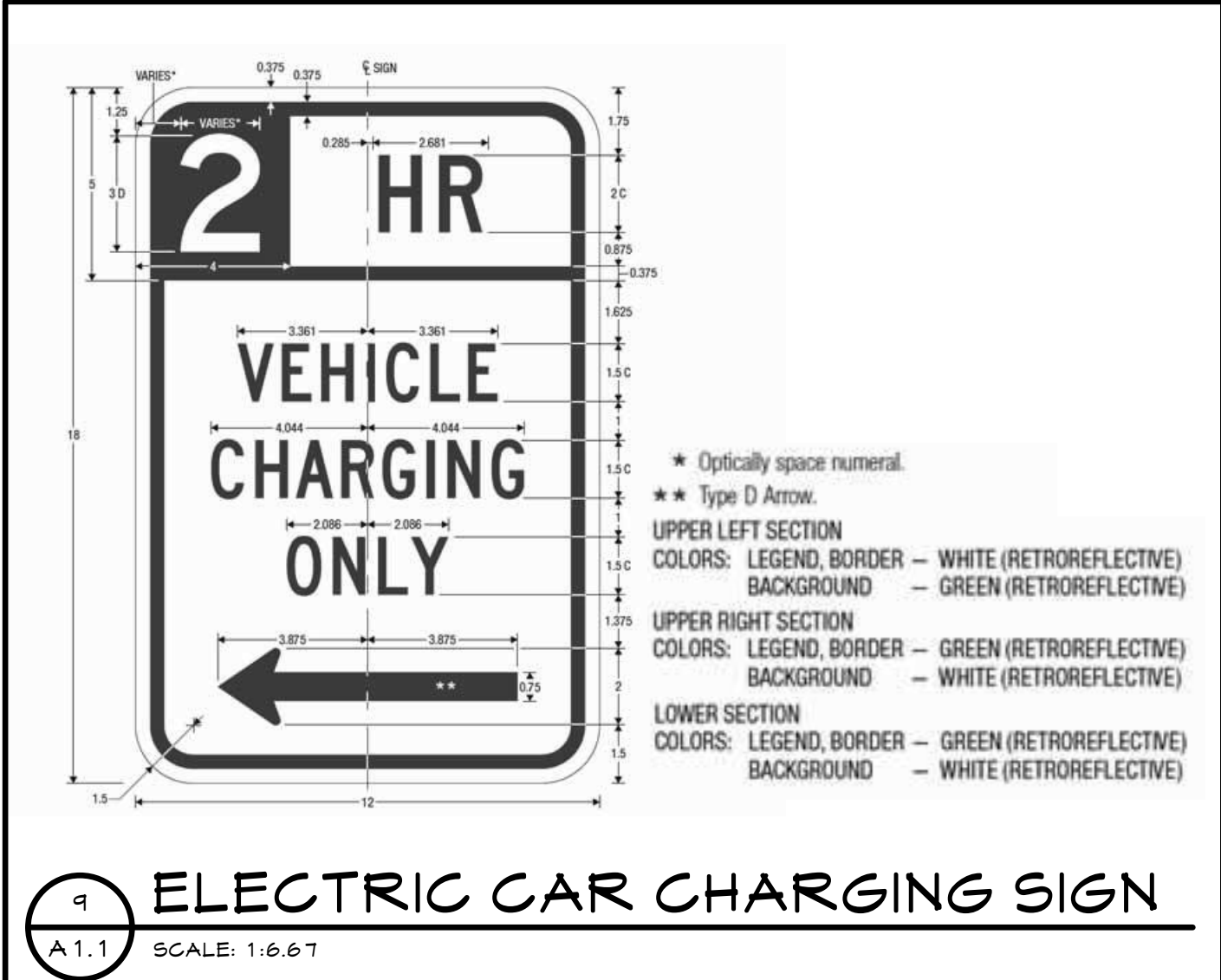
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Description

ARCHITECTURAL SITE DETAILS

Sheet Number

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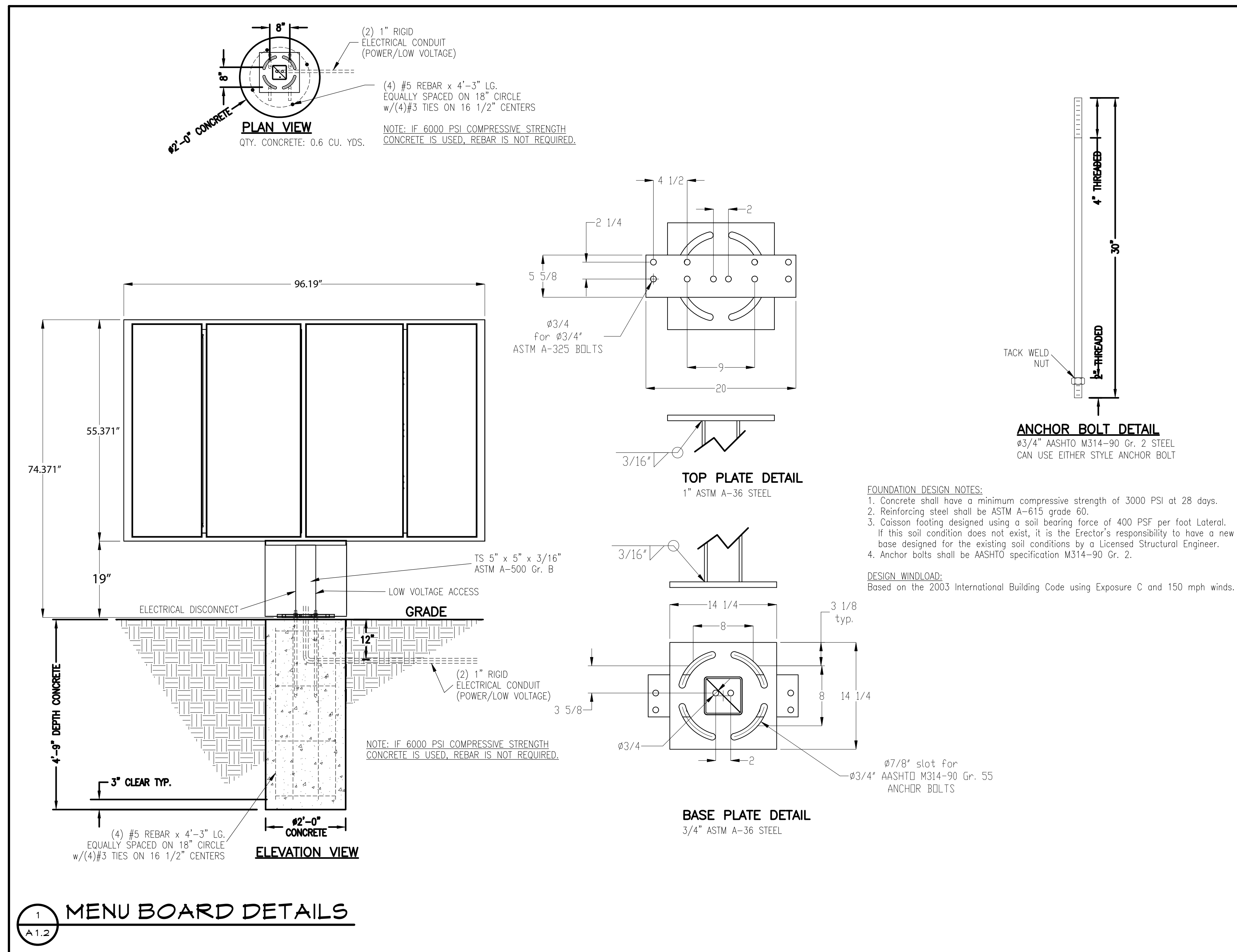
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Scale	
NOT TO SCALE	
Date Drawn	
DECEMBER 4, 2020	
Drawn By	
ASE	
Description	
MENU BOARD DETAILS	
Sheet Number	
A1.2	



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DECEMBER 4, 2020

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ASE

Description

TRASH ENCLOSURE

Sheet Number

A2.0

- 1 1/2" VENEER STONE AS SCHEDULED
- 3/8"x16"x2" @ 16" O.C. BOLT TO TUBE STEEL WITH ACORN NUT ON OUTSIDE
- MCKINNEY T4B3781 HINGES WELDED TO GATE AND POST. LOCATE PER ELEVATION(S).
- 1" x 18 GAGE METAL DECK. PAINT AS SCHEDULED.
- 1/2" DIA. x 12" CANE BOLT (AT GRADE)
- 1/2" DIA. x 8" BARREL BOLT LOCK.
- 1 1/2"x1 1/2"x3/16" METAL ANGLE DIAGONAL BRACE.
- 3"x4"x1/4" METAL ANGLE FRAME, 4 SIDES OF GATE.
- 5"x5"x1/4" TUBE STEEL W/ 5"x5"x1/4" CAP PLATE EMBEDDED 12" INTO FOOTING. FILL STEEL WITH CONCRETE.
- 16"x8"x8" CMU WALL AS SCHEDULED. SOLID GROUT CELLS.
- #5 VERTICAL BAR @ 32" O.C. AND #5 HORIZONTAL BARS AT TOP AND MID HEIGHT.

## ENCLOSURE JAMB

SCALE: 1" = 1'-0"

- WALL CAP TO MATCH BUILDING STONE VENEER SILL.
- 16x8x8 CMU BLOCK WALL WITH STONE VENEER.
- CONCRETE FILLED STEEL BOLLARD, TYPICAL. PAINT TO MATCH WALLS.
- CONCRETE FOOTING TO EXTEND 1'-0" ABOVE GRADE FOR INTEGRAL CURB INSIDE TRASH ENCLOSURE
- 6" CONG. SLAB ON 6" GRAVEL BASE. MEDIUM BROOM FINISH. SLOPE FOR POSITIVE DRAINAGE PER CIVIL. REINFORCE WITH #1.4X#1.4 W.W.F.

## TRASH ENCLOSURE-SECT.

SCALE: 1/4" = 1'-0"

- PRECAST CONCRETE WALL CAP TO BE PAINTED
- 16x8x8 CMU BLOCK WALL WITH STONE VENEER FINISH TO MATCH BUILDING AT EXTERIOR SIDES. PAINT INTERIOR TO MATCH BUILDING EIFS. TYP.
- SHALLOW DEPTH CONCRETE FOOTING TO EXTEND 1'-0" ABOVE GRADE FOR INTEGRAL CURB INSIDE TRASH ENCLOSURE
- LINE OF 6" CONG. SLAB ON 6" GRAVEL BASE. MEDIUM BROOM FINISH. SLOPE FOR POSITIVE DRAINAGE PER CIVIL. REINFORCE WITH #1.4X#1.4 W.W.F.

## TRASH ENCLOSURE-ELEV.

SCALE: 1/4" = 1'-0"

- WALL CAP TO MATCH BUILDING STONE VENEER SILL.
- 5" SQUARE STEEL POST. TYPICAL BOTH SIDES OF GATE.
- 3" STEEL ANGLE FRAMING.
- 18 GA. METAL GATE (SOLID BOX RIB). PAINT: SHERWIN WILLIAMS, DARK CLOVE SW9183
- 3 HEAVY DUTY HINGES (MIN.)
- BAR LATCH AT GATE.
- 16x8x8 CMU BLOCK WALL WITH STONE VENEER FINISH TO MATCH BUILDING AT EXTERIOR SIDES.
- 1/2" DIA. THREADED ANCHORS @ 16" O.C. VERTICAL.
- LINE OF 6" CONG. SLAB ON 6" GRAVEL BASE. MEDIUM BROOM FINISH. SLOPE FOR POSITIVE DRAINAGE PER CIVIL. REINFORCE WITH #1.4X#1.4 W.W.F.

## TRASH ENCLOSURE-ELEV.

SCALE: 1/4" = 1'-0"

- PRECAST CONCRETE WALL CAP PAINTED TO MATCH BUILDING. TYP.
- CONCRETE FILLED STEEL BOLLARD, TYPICAL. PAINT TO MATCH WALLS.
- 16x8x8 CMU BLOCK WALL WITH STONE VENEER FINISH TO MATCH BUILDING AT EXTERIOR SIDES. PAINT INTERIOR TO MATCH BUILDING EIFS. TYP.
- CONCRETE FOOTING TO EXTEND 1'-0" ABOVE GRADE FOR INTEGRAL CURB INSIDE TRASH ENCLOSURE
- LINE OF 6" CONG. SLAB ON 6" GRAVEL BASE. MEDIUM BROOM FINISH. SLOPE FOR POSITIVE DRAINAGE PER CIVIL. REINFORCE WITH #1.4X#1.4 W.W.F.

## TRASH ENCLOSURE-ELEV.

SCALE: 1/4" = 1'-0"

- 6" CONG. SLAB AT ENCLOSURE ON 6" GRAVEL BASE UNLESS OTHERWISE NOTED. MEDIUM BROOM FINISH. SLOPE FOR POSITIVE DRAINAGE PER CIVIL. REINFORCE WITH #1.4X#1.4 W.W.F. PROVIDE CONTROL JOINTS AT 5'-0" O.C.E.W.
- LOCATION FOR NEW DUMPSTERS 42"X12"
- CONCRETE FOOTING TO EXTEND 1'-0" ABOVE GRADE FOR INTEGRAL CURB INSIDE TRASH ENCLOSURE
- 16x8x8 CMU BLOCK WALL WITH STONE VENEER FINISH TO MATCH BUILDING AT EXTERIOR SIDES. PAINT INTERIOR TO MATCH BUILDING EIFS. TYP.
- 5" SQUARE STEEL POST. TYPICAL BOTH SIDES OF GATE.
- CONCRETE FILLED STEEL BOLLARD, TYPICAL. PAINT TO MATCH WALLS.
- 18 GA. METAL GATE (BOX RIB) WITH BAR LATCH AS INDICATED. PAINT: SHERWIN WILLIAMS, DARK CLOVE SW9183. INCLUDE HOLD OPEN AT GATES.
- BAR LATCH AT GATE.

## TRASH ENCLOSURE-PLAN

SCALE: 1/4" = 1'-0"

- WALL CAP TO MATCH BUILDING STONE VENEER SILL.
- HORIZONTAL JOINT LADDER REINF. AT 16" O.C. PROVIDE PREFAB ASSEMBLIES FOR CORNERS.
- SOLID GROUTED BOND BEAM WITH 2#5XCONT.
- MASONRY WALL REINF. WITH #5 VERT. AT 24" O.C. IN SOLID GROUTED CELLS.
- #5X6'-0" MASONRY DOWELS TO MATCH WALL REINF. (PROJECT 3'-0")
- 1/2" EXPANSION JOINT MATERIAL, TYP.
- CONCRETE SLAB ON GRADE REINF. WITH #4XCONT. AT 8" O.C. EACH WAY.
- CONCRETE WALL REINF. WITH #5XAT 12" O.C. AND #5 XCONT. AT 12" O.C. HORIZONTAL.
- CONCRETE FOOTING WITH (3) #5 XCONT. AND #4 AT 12" O.C.

## WALL SECTION

SCALE: 1/2" = 1'-0"



# ZIGGI'S COFFEE-LAFAYETTE

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SEPARATE SIGNAGE PERMIT(S) REQUIRED.  
SIGNAGE TO BE APPLIED FOR UNDER A SEPARATE  
PERMIT APPLICATION.

## OVERALL BUILDING MATERIALS

MATERIAL	SQUARE FOOTAGE	PERCENTAGE
AREA OF EIFS STUCCO	1,235.99 S.F.	29.99%
AREA OF RECLAIMED WOOD SIDING	1,051.73 S.F.	25.52%
AREA OF NON-REFLECTIVE GLAZING	712.39 S.F.	17.28%
AREA OF STONE VENEER	632.52 S.F.	15.35%
AREA OF METAL PARAPET TRIM	286.65 S.F.	6.96%
AREA OF CORRUGATED METAL	202.26 S.F.	4.91%
BUILDING TOTALS	4,121.54 S.F.	100%

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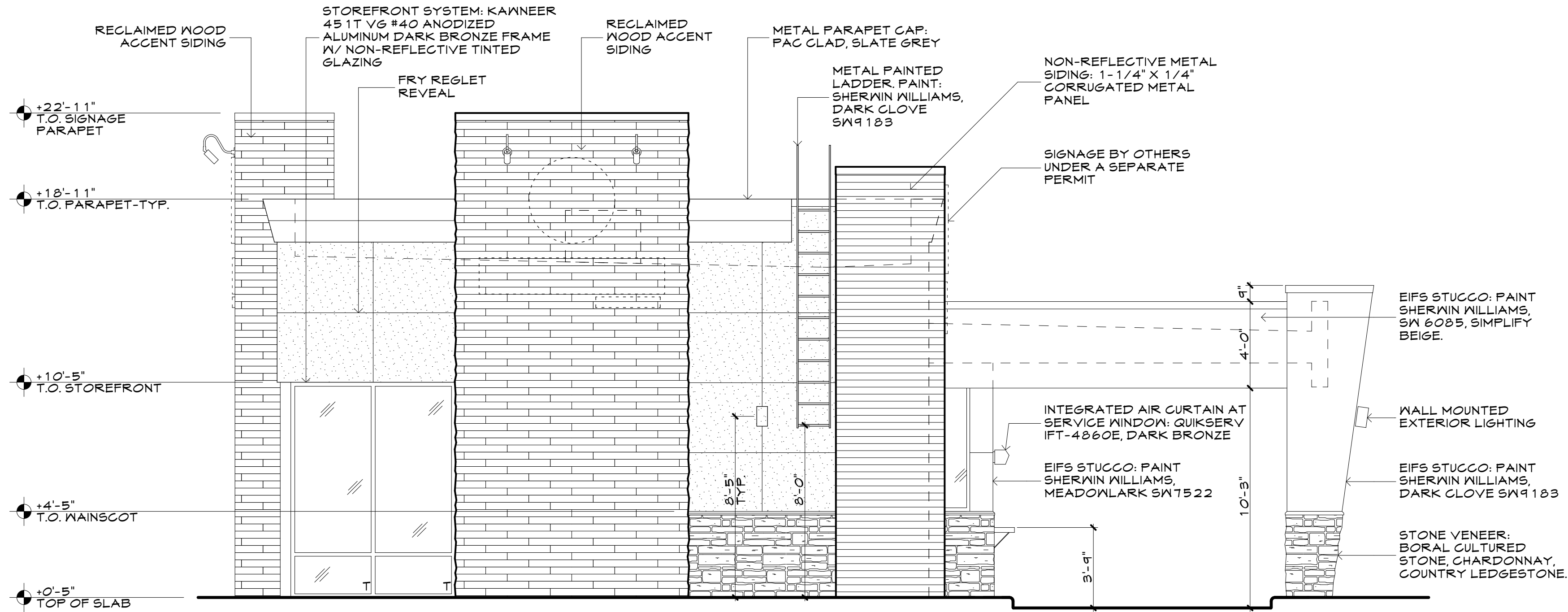
Notes

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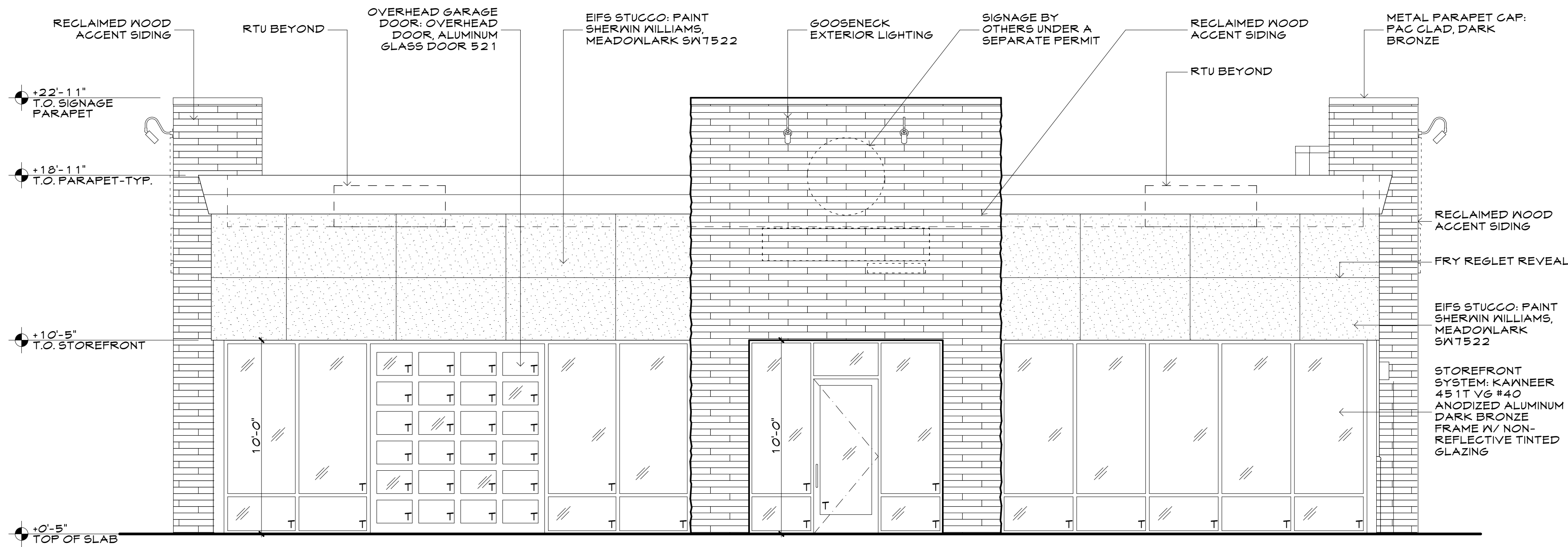
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EAST ELEVATION MATERIALS	
STUCCO	241.78 S.F. 30%
GLAZING	88.18 S.F. 11%
WOOD	303.86 S.F. 31%
STONE	46.21 S.F. 6%
CORRUG	101.13 S.F. 12%
METAL	33.84 S.F. 4%
TOTAL	815.06 100%

## 2 EAST ELEVATION

A3.0 SCALE: 1/4" = 1'-0"



SOUTH ELEVATION MATERIALS	
STUCCO	288.36 S.F. 22%
GLAZING	540.42 S.F. 42%
WOOD	363.89 S.F. 28%
STONE	0 S.F. 0%
CORRUG	0 S.F. 0%
METAL	90.17 S.F. 8%
TOTAL	1,282.84 100%

## 1 SOUTH ELEVATION

A3.0 SCALE: 1/4" = 1'-0"

ZIGGI'S COFFEE-LAFAYETTE

2396 BALMSTONE DRIVE  
LAFAYETTE, CO 80026

Issues:

SUBMITTAL #1	12.04.20
SUBMITTAL #2	01.28.21
SUBMITTAL #3	05.14.21
SUBMITTAL #4	07.02.21
SUBMITTAL #5	09.07.21

Scale

1/4" = 1'-0"

Date Drawn

DECEMBER 4, 2020

Drawn By

ASE

Description

EXTERIOR ELEVATIONS (1)

Sheet Number

A3.0



# ZIGGI'S COFFEE-LAFAYETTE

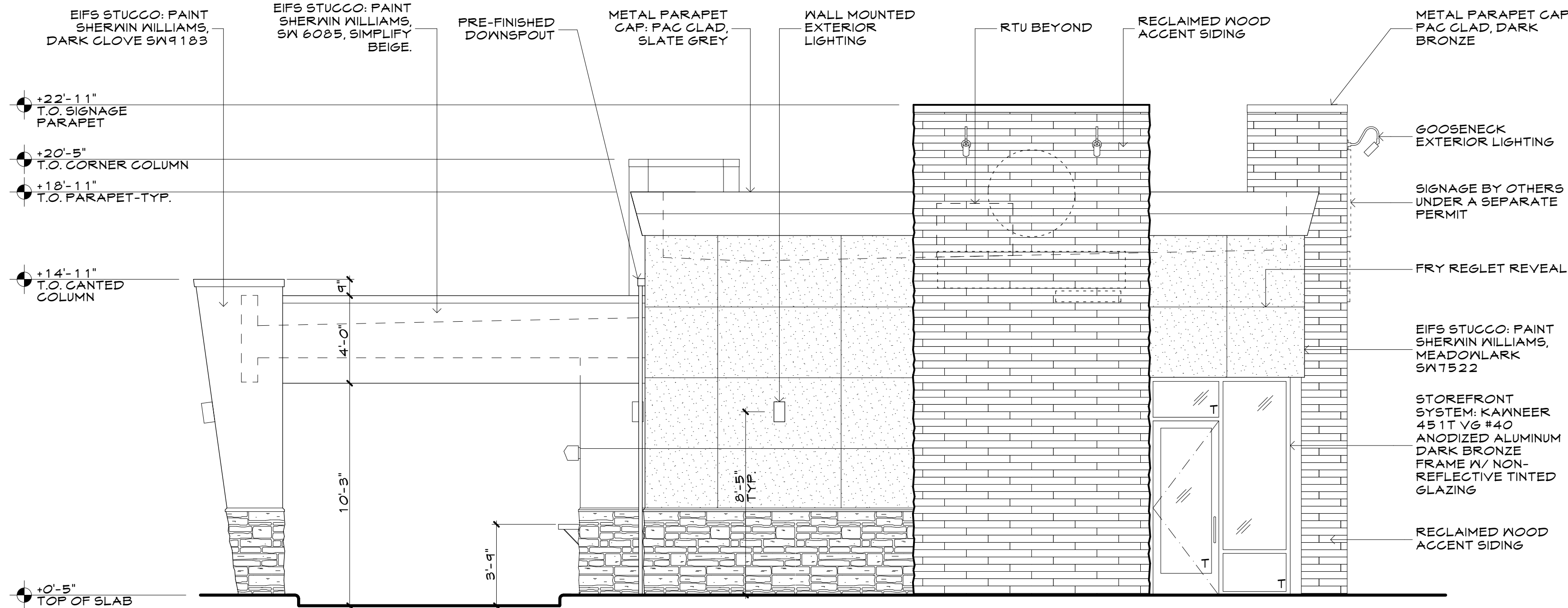
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## OVERALL BUILDING MATERIALS

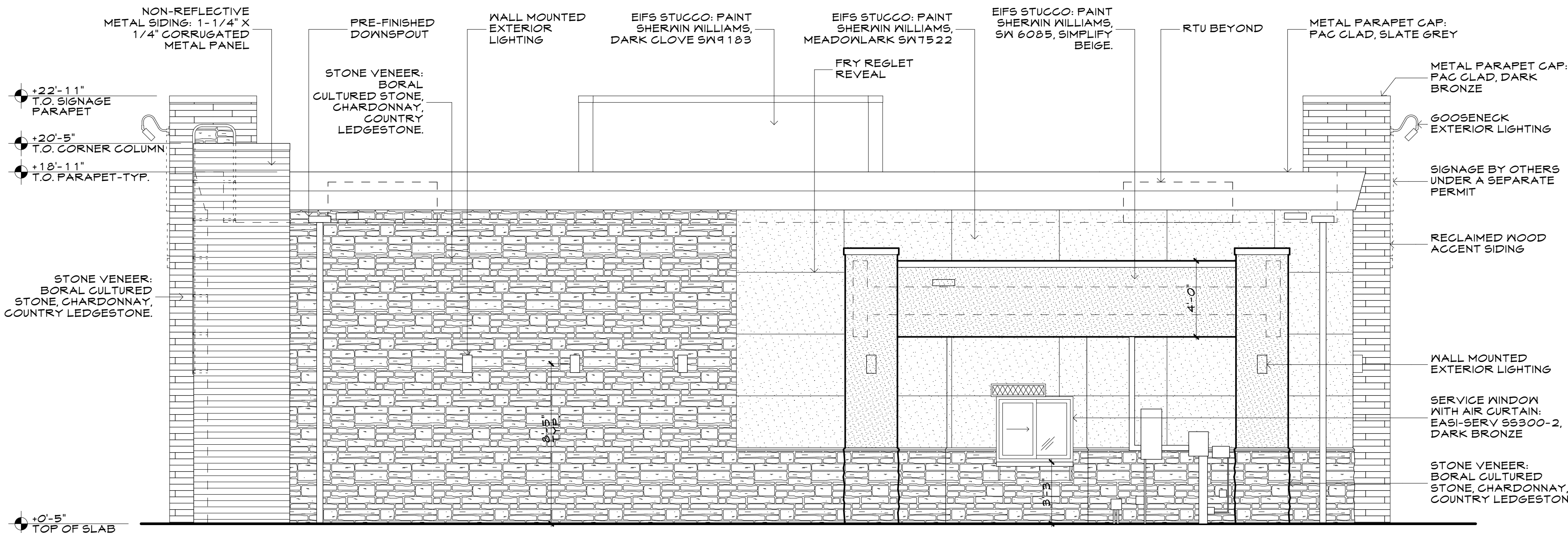
MATERIAL	SQUARE FOOTAGE	PERCENTAGE
AREA OF EIFS STUCCO	1,235.99 S.F.	29.99%
AREA OF RECLAIMED WOOD SIDING	1,051.73 S.F.	25.52%
AREA OF NON-REFLECTIVE GLAZING	712.39 S.F.	17.28%
AREA OF STONE VENEER	632.52 S.F.	15.35%
AREA OF METAL PARAPET TRIM	286.65 S.F.	6.96%
AREA OF CORRUGATED METAL	202.26 S.F.	4.91%
BUILDING TOTALS	4,121.54 S.F.	100%



WEST ELEVATION MATERIALS		
STUCCO	312.33 S.F.	39%
GLAZING	69.90 S.F.	9%
WOOD	298.65 S.F.	37%
STONE	71.15 S.F.	9%
CORRUG	0 S.F.	0%
METAL	47.67 S.F.	6%
TOTAL	799.7	100%

## 2 WEST ELEVATION

A3.1 SCALE: 1/4" = 1'-0"



NORTH ELEVATION MATERIALS		
STUCCO	393.33 S.F.	32%
GLAZING	13.89 S.F.	1%
WOOD	40.33 S.F.	7%
STONE	515.27 S.F.	42%
CORRUG	101.13 S.F.	8%
METAL	114.97 S.F.	10%
TOTAL	1,229 S.F.	100%

## 1 NORTH ELEVATION

A3.1 SCALE: 1/4" = 1'-0"

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LAFAYETTE, CO 80026

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SUBMITTAL #5	09.07.21

Scale

1/4" = 1'-0"

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Description

EXTERIOR ELEVATIONS (2)

Sheet Number

A3.1



ZIGGI'S COFFEE-LAFAYETTE  
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2  
A3.2

BUILDING PERSPECTIVE (2)  
NOT TO SCALE



1  
A3.2

BUILDING PERSPECTIVE (1)  
NOT TO SCALE

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2396 BALMSTONE DRIVE  
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Description	
BUILDING PERSPECTIVES	
Sheet Number	
A3.2	



# ZIGGI'S COFFEE-LAFAYETTE






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COUNTY OF BOULDER, STATE OF COLORADO

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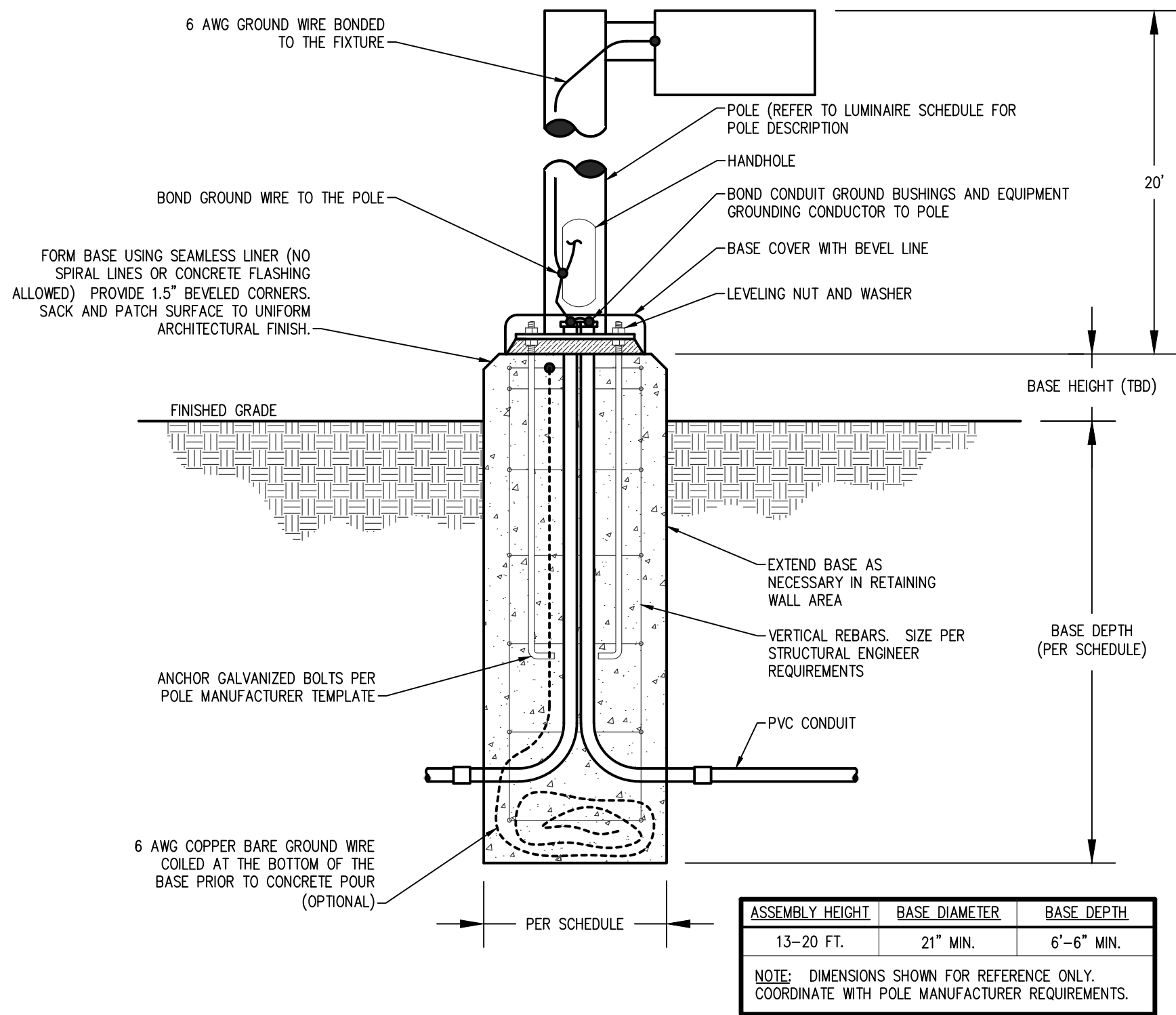
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Schedule												
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	LLF	Wattage	Efficiency
	B	6	WAC Lighting	WP-LED514-2(max)	endurance sign light	NA	1	WP-LED514-3000K-60°.IES	984	1	15.155	100%
	C	1	Gotham Architectural Lighting	EVO6WC 30/15 AR ND LSS	EVO 6IN CYLINDER, WALL MOUNT, 80 CRI, 3000K, 1500LM, NARROW DIST, CLEAR, SEMI-SPEC		1	EVO6WC_30_15_AR_ND_LSS.ies	1503	1	14.7	100%
	3Kblc	4	Lithonia Lighting	DSX1 LED P4 30K BLC MVOLT	DSX1 LED P4 30K BLC MVOLT	LED	1	DSX1_LED_P4_30K_BLC_MVOLT.ies	11026	1	125	100%
	c-low	5	Gotham Architectural Lighting	EVO6WC 30/07 AR MWD LSS	EVO 6IN CYLINDER, WALL MOUNT, 80 CRI, 3000K, 750LM, MED WIDE DIST, CLEAR, SEMI-SPEC		1	EVO6WC_30_07_AR_MWD_LS.ies	737	1	8.2	100%
	D-new	4	Lithonia Lighting	LDN6 30/10 L06AR LD	6IN LDN, 3000K, 1000LM, CLEAR, MATTE DIFFUSE REFLECTOR, CRI80		1	LDN6_30_10_L06AR_LD.ies	839	1	10.44	100%

Luminaire Locations											
Location								Aim			
No.	Label	X	Y	Z	MH	Orientation	Tilt	X	Y	Z	
1	3Kblc	3.00	1489.00	20.00	20.00	0.00	0.00	3.00	1490.19	0.00	
2	3Kblc	-64.50	1489.50	20.00	20.00	0.00	0.00	-64.50	1490.69	0.00	
3	3Kblc	5.00	1561.50	20.00	20.00	180.00	0.00	5.00	1560.31	0.00	
4	3Kblc	-57.50	1549.50	20.00	20.00	180.00	0.00	-57.50	1548.31	0.00	
1	B	51.00	1496.00	20.67	20.67	0.00	60.00	51.00	1521.66	5.86	
2	B	57.00	1496.00	20.67	20.67	0.00	60.00	57.00	1521.66	5.86	
3	B	55.50	1561.50	20.67	20.67	180.00	60.00	55.50	1535.85	5.86	
4	B	49.50	1561.50	20.67	20.67	180.00	60.00	49.50	1535.85	5.86	
6	B	37.00	1523.00	20.67	20.67	90.00	60.00	62.32	1523.00	6.05	
7	B	37.00	1529.00	20.67	20.67	85.24	60.00	62.23	1531.10	6.05	
6	C	62.50	1498.50	20.00	20.00	177.61	0.00	62.51	1498.24	0.00	
1	c-low	71.00	1511.50	8.50	8.50	90.00	0.00	71.26	1511.50	0.00	
2	c-low	71.00	1517.50	8.50	8.50	90.00	0.00	71.26	1517.50	0.00	
3	c-low	71.00	1523.00	8.50	8.50	90.00	0.00	71.26	1523.00	0.00	
4	c-low	90.50	1533.00	8.50	8.50	90.00	0.00	90.76	1533.00	0.00	
5	c-low	90.50	1553.50	8.50	8.50	90.00	0.00	90.76	1553.50	0.00	
1	D-new	80.00	1548.50	10.00	10.00	90.00	0.00	80.00	1548.50	0.00	
2	D-new	80.00	1537.50	10.00	10.00	90.00	0.00	80.00	1537.50	0.00	
3	D-new	64.00	1560.00	10.00	10.00	0.00	0.00	64.00	1560.00	0.00	
4	D-new	39.00	1526.00	10.00	10.00	90.00	0.00	39.00	1526.00	0.00	

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2	+	0.6 fc	7.9 fc	0.0 fc	N/A	N/A
property line	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A



2

## LIGHT POLE MOUNTING DETAIL

SCALE: NO SCALE

NOTE: COORDINATE DETAIL SHOWN WITH PROJECT STRUCTURAL ENGINEER. NO WORK SHOULD BE PERFORMED WITHOUT STRUCTURAL ENGINEER APPROVAL.

## EXTERIOR LIGHTING DESIGN CONCEPTS

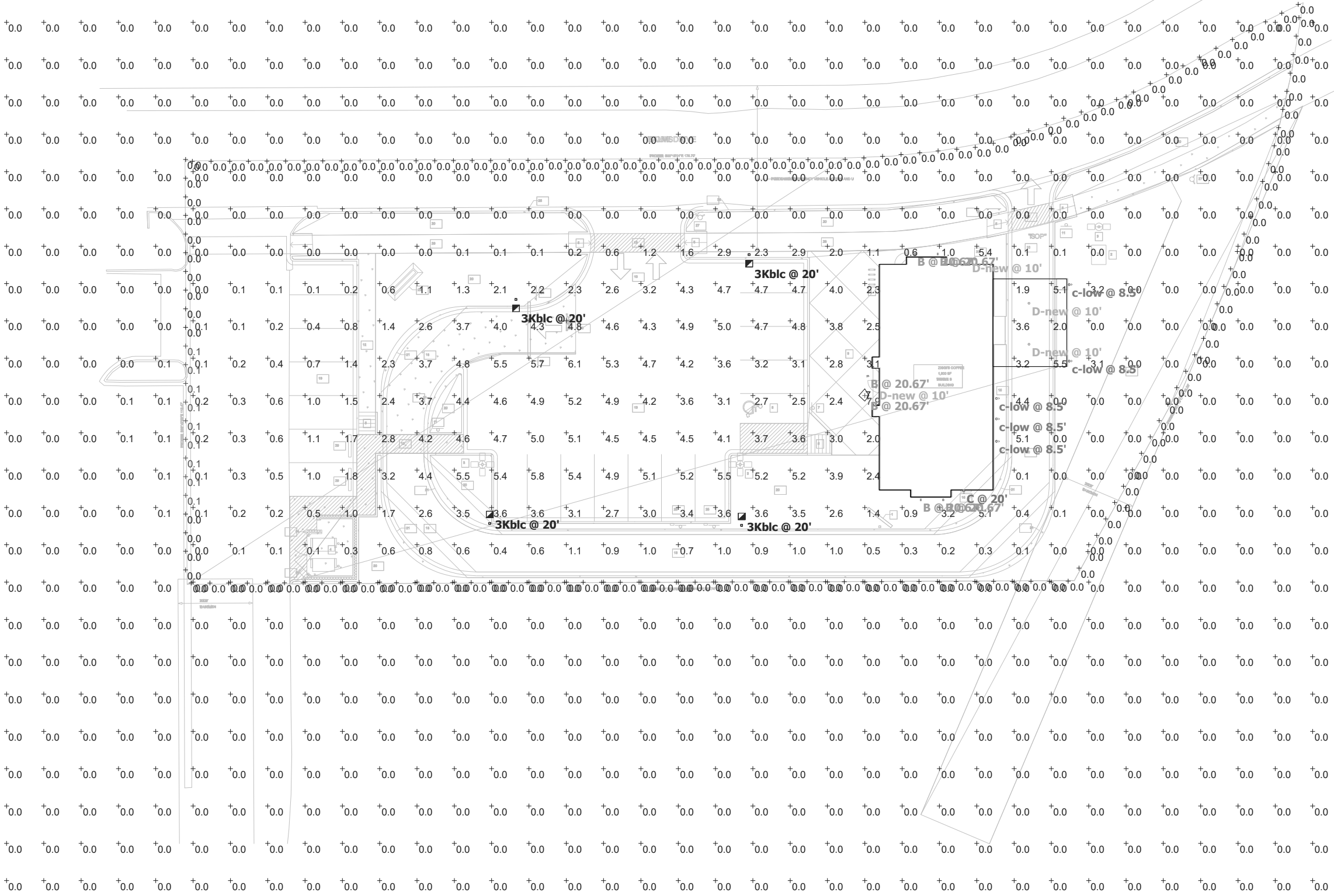
- CALCULATIONS ARE USING POINT-TO-POINT METHOD WITH TEN FEET DISTANCE BETWEEN CALCULATION GRID POINTS. SOFTWARE USED: VISUAL 2017.
- THE IESNA STANDARDS REPRESENT THE LOWEST ACCEPTABLE LEVELS FOR PROPER VISIBILITY AND RECOMMEND MINIMUM MAINTAINED LIGHT LEVELS FOR OPEN PARKING LOTS AT 0.2-0.5 FOOT CANDLES LEVEL FOR ENHANCED SECURITY CONDITIONS.

## EXTERIOR LIGHTING OPERATION REQUIREMENTS

- ALL OUTDOOR LIGHTING NOT NECESSARY FOR SECURITY PURPOSES SHALL BE TURNED OFF DURING NOT-OPERATIONS HOURS. LIGHTING NECESSARY FOR PUBLIC HEALTH, SAFETY AND WELFARE PURPOSES MAY BE ACTIVATED BY MOTION SENSING DEVICES. ALL OUTDOOR LIGHTING ON PRIVATE PROPERTY SHALL BE TURNED OFF BETWEEN 11:00 PM AND SUNRISE UNLESS EXEMPTED.
- LIGHTING MAY REMAIN ON WHILE THE BUSINESS FACILITY IS OPEN TO THE PUBLIC.
- LIGHTING MAY REMAIN ON WHILE IT IS USED FOR SECURITY PURPOSES OR TO ILLUMINATE WALKWAYS, ROADWAYS, DRIVEWAYS, EQUIPMENT OR STORAGE YARDS, AND PARKING LOTS WHERE ACCESSIBLE AT NIGHT, AS APPROVED BY CITY AUTHORITIES.

## PHOTOMETRIC CALCULATION DISCLAIMER

- LIGHTING PATTERN USED FOR LUMINAIRES REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY LUMINAIRE MAY VARY DUE TO VARIATION IN VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD AND EQUIPMENT CONDITIONS.



1

## PHOTOMETRIC PLAN

SCALE: 1" = 30'-0"

N

ZIGGI'S COFFEE-LAFAYETTE

2396 BALMSTONE DRIVE  
LAFAYETTE, CO 80026

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SUBMITTAL #5	09.07.21

Scale

1" = 30'-0"

Date Drawn

DECEMBER 4, 2020

Drawn By

ASE

Description

PHOTOMETRIC PLAN

Sheet Number

A4.0







LINE TABLE		
LINE #	BEARING	DISTANCE
L1	S00°00'00"E	17.79
L2	N90°00'00"W	54.00
L3	N89°33'46"E	6.30
L4	S00°00'00"E	4.60
L5	N90°00'00"W	12.53
L6	N90°00'00"E	5.78
L7	S00°00'00"E	128.50
L8	N90°00'00"E	79.91
L9	N48°17'23"W	2.84
L10	S15°04'23"W	3.72
L11	N90°00'00"W	68.27
L12	N00°00'00"E	113.48
L13	S00°00'00"E	14.28
L14	N90°00'00"W	18.27
L15	S00°00'00"E	54.00
L16	N90°00'00"E	18.27
L17	S00°00'00"E	19.00
L18	N90°00'00"E	52.00
L19	N00°00'00"W	24.50
L20	N89°55'16"E	6.94
L21	S22°05'56"E	4.44
L22	S00°15'13"E	23.07
L23	S13°52'10"W	7.24
L24	S00°00'00"E	8.75
L25	N90°00'00"W	7.92
L26	S89°57'35"E	1.86
L27	N00°02'16"E	8.10
L28	N90°00'00"W	16.10

CURVE TABLE					
CURVE #	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	1.61	1.00	92°08'17"	N46°04'09"E	1.44
C2	1.58	1.00	90°26'18"	S45°13'09"E	1.42
C3	3.14	1.00	180°00'00"	S00°00'00"E	2.00
C4	39.27	25.00	90°00'00"	N45°00'00"E	35.36
C5	34.56	22.00	90°00'00"	N45°00'00"W	31.11
C6	4.48	3.50	73°23'48"	S53°18'06"E	4.18
C7	10.29	201.80	2°55'23"	N13°42'55"W	10.29
C8	6.16	3.50	100°54'28"	S39°32'46"W	5.40
C9	28.27	18.00	90°00'00"	N45°00'00"W	25.46
C10	31.24	20.00	89°29'13"	N44°44'36"E	28.16
C11	1.57	1.00	89°57'35"	S44°58'48"E	1.41
C12	1.57	1.00	90°00'00"	S45°00'00"W	1.41
C13	1.57	1.00	90°00'00"	S45°00'00"E	1.41
C14	1.57	1.00	90°00'00"	N45°00'00"E	1.41
C15	7.83	5.00	89°45'02"	S45°07'47"E	7.06
C16	12.56	7.98	90°11'25"	S44°40'45"W	11.30
C17	28.42	18.00	90°26'53"	N45°13'26"W	25.56
C18	39.27	25.00	90°00'00"	S45°00'00"E	35.36
C19	3.21	1.00	183°32'58"	N01°46'29"E	2.00
C20	0.79	0.50	90°00'09"	N45°02'20"E	0.71
C21	1.57	1.00	90°02'16"	N44°58'52"W	1.41
C22	2.21	1.00	126°50'15"	S26°34'53"W	1.79
C23	18.08	20.00	51°47'36"	S62°44'03"E	17.47

ZIGGI'S COFFEE-LAFAYETTE  
LOT 5C, SOLA SUBDIVISION FILING NO. 1, REPLAT C,  
COUNTY OF BOULDER, STATE OF COLORADO

HATCHING LEGEND

EXISTING		PROPOSED
	CONCRETE	
	LANDSCAPE	
	ASPHALT	

EXISTING	CIVIL SITE LEGEND	PROPOSED
	CURB AND GUTTER (SPILL)	
	CURB AND GUTTER (CATCH)	
	ELECTRICAL BOX	
	SITE LIGHT	
	SIGN	
	MANHOLES	
	INLET	
	METER PIT	
	GATE VALVE	
	CLEAN OUT	
	TREE	
	RETAINING WALL	
	FIRE HYDRANT	

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A DIVISION OF  
**HABERER CARPENTRY INC.**  
621 SOUTH PARK DR., SUITE 1600  
LITTLETON CO, 80120  
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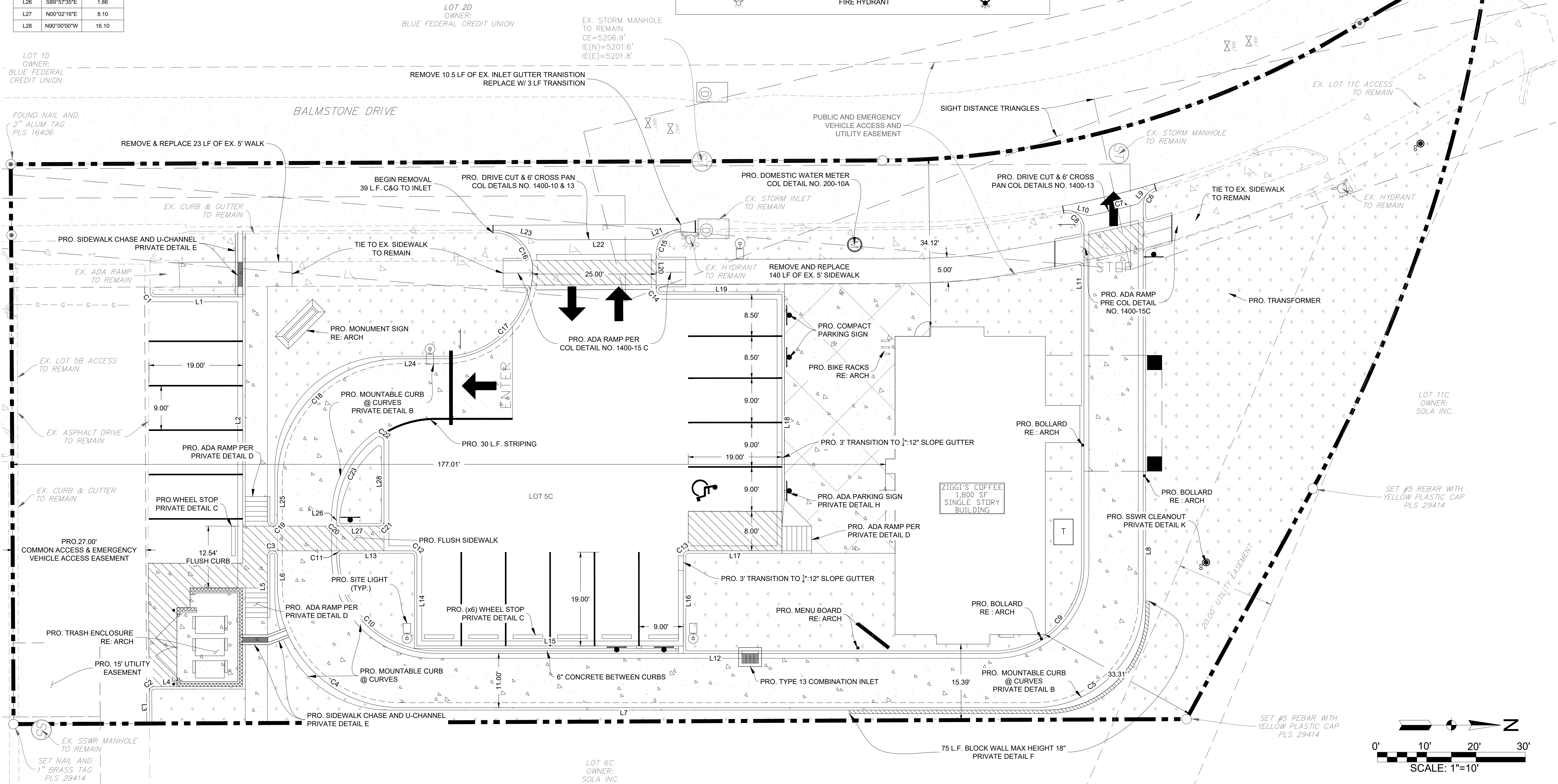
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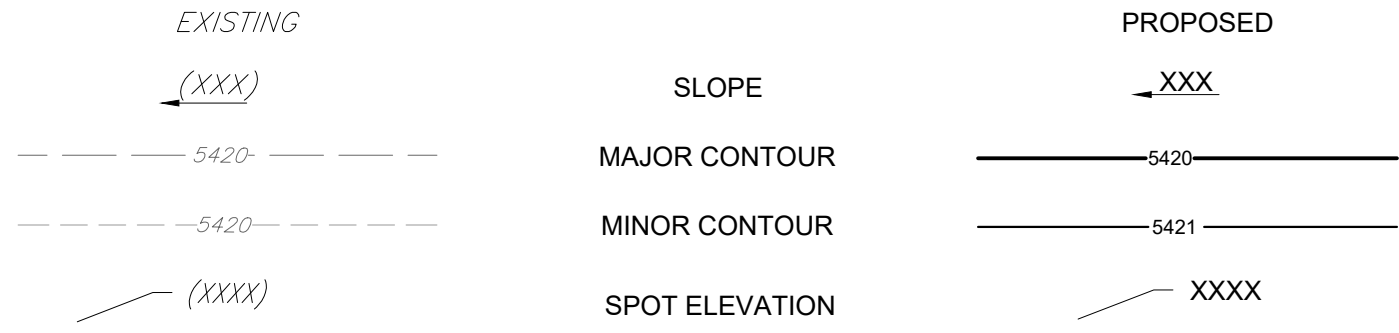
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SUBMITTAL #5		08.09.21

Scale	1"=10'-0"
Date Drawn	OCTOBER 30, 2020
Drawn By	TGG
Description	SITE PLAN
Sheet Number	C2.0

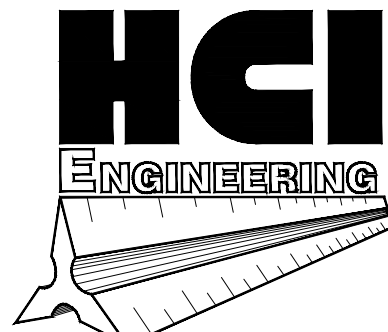


GRADING LEGEND



ZIGGI'S COFFEE-LAFAYETTE

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NOTE:  
1) ALL STORM SEWERS ARE PRIVATELY  
OWNED AND MAINTAINED UNLESS  
OTHERWISE NOTED

Notes

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ZIGGI'S COFFEE-LAFAYETTE

2396 BALMSTONE DRIVE  
LAFAYETTE, CO 80026

Issues:	
SUBMITTAL #1	12.04.20
SUBMITTAL #2	01.27.21
SUBMITTAL #3	05.14.21
SUBMITTAL #4	07.02.21
SUBMITTAL #5	08.09.21

Scale

1"=10'-0"

Date Drawn

OCTOBER 30, 2020

Drawn By

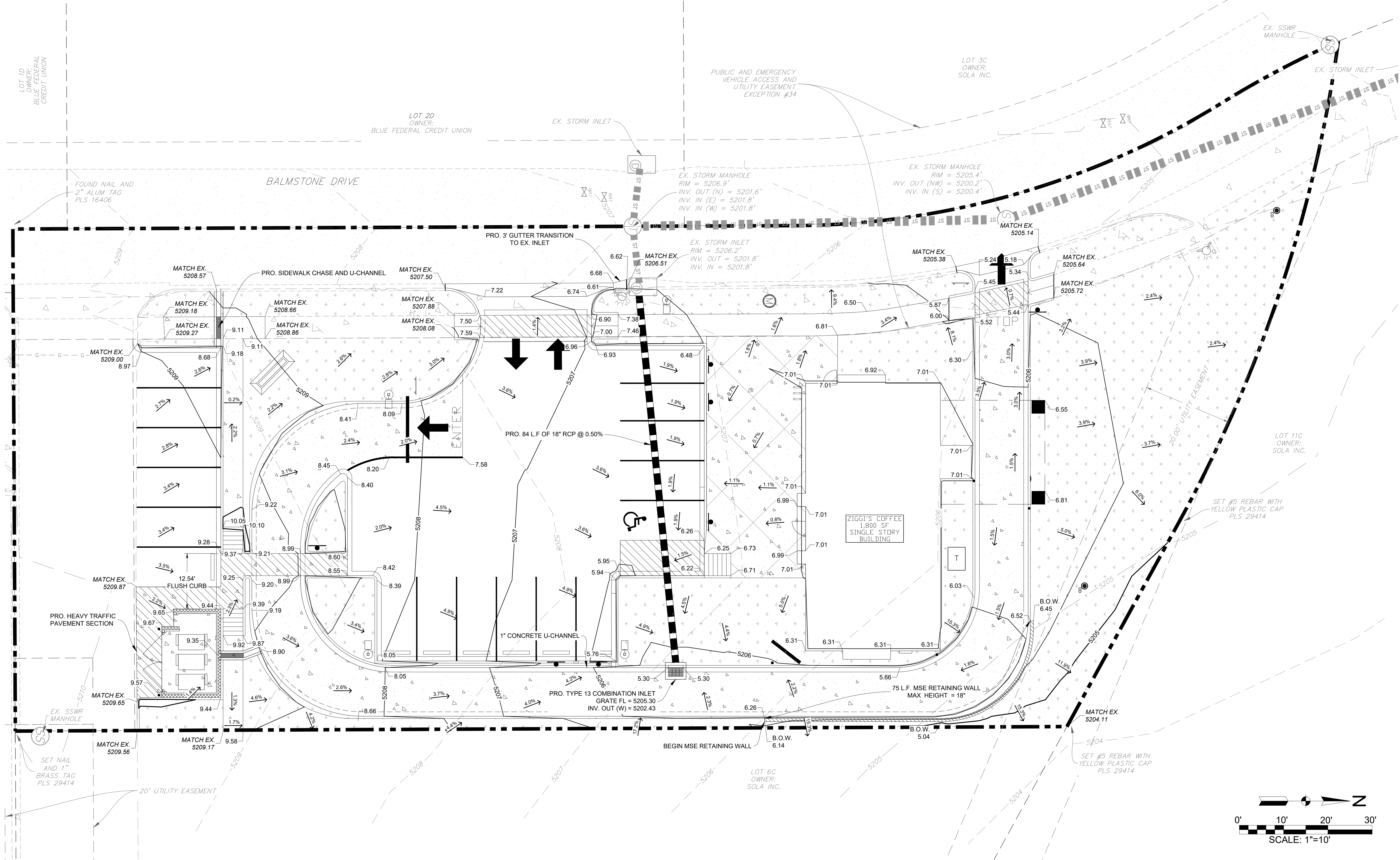
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Description

GRADING PLAN

Sheet Number

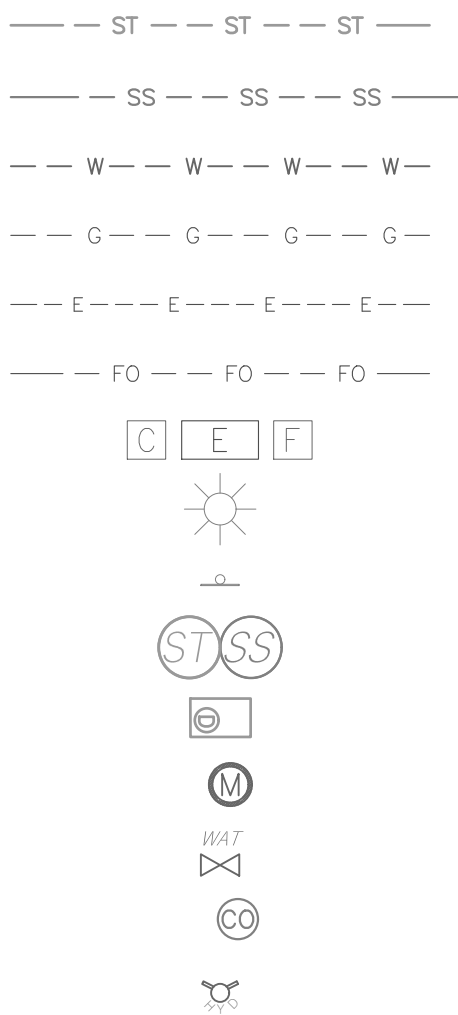
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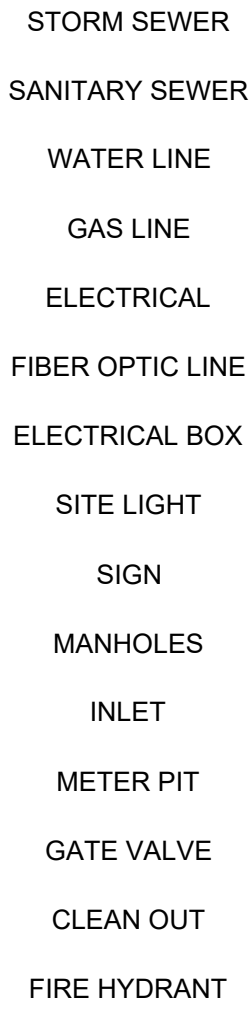


UTILITY LEGEND

EXISTING

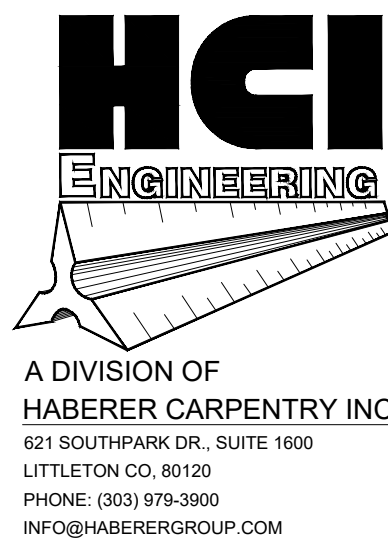


PROPOSED



ZIGGI'S COFFEE-LAFAYETTE  
LOT 5C, SOLA SUBDIVISION FILING NO. 1, REPLAT C,  
COUNTY OF BOULDER, STATE OF COLORADO

- NOTE:
- 1) ALL STORM SEWERS ARE PRIVATELY OWNED AND MAINTAINED UNLESS OTHERWISE NOTED.
  - 2) DRY UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL COORDINATE FINAL DESIGN WITH ASSOCIATED PROVIDER PRIOR TO CONSTRUCTION.
  - 3) GAS MAIN WAS INSTALLED OUTSIDE OF EASEMENT. XCEL TO RELOCATE GAS MAIN WITHIN EXISTING PUBLIC AND EMERGENCY VEHICLE ACCESS AND UTILITY EASEMENT. FINAL PLAN TO BE PROVIDED BY XCEL.
  - 4) ELECTRIC SERVICE PULLED FROM TRANSFORMER LOCATED AT SOUTHWEST CORNER OF BALMSTONE DR. AND LAFAYETTE DRIVE.



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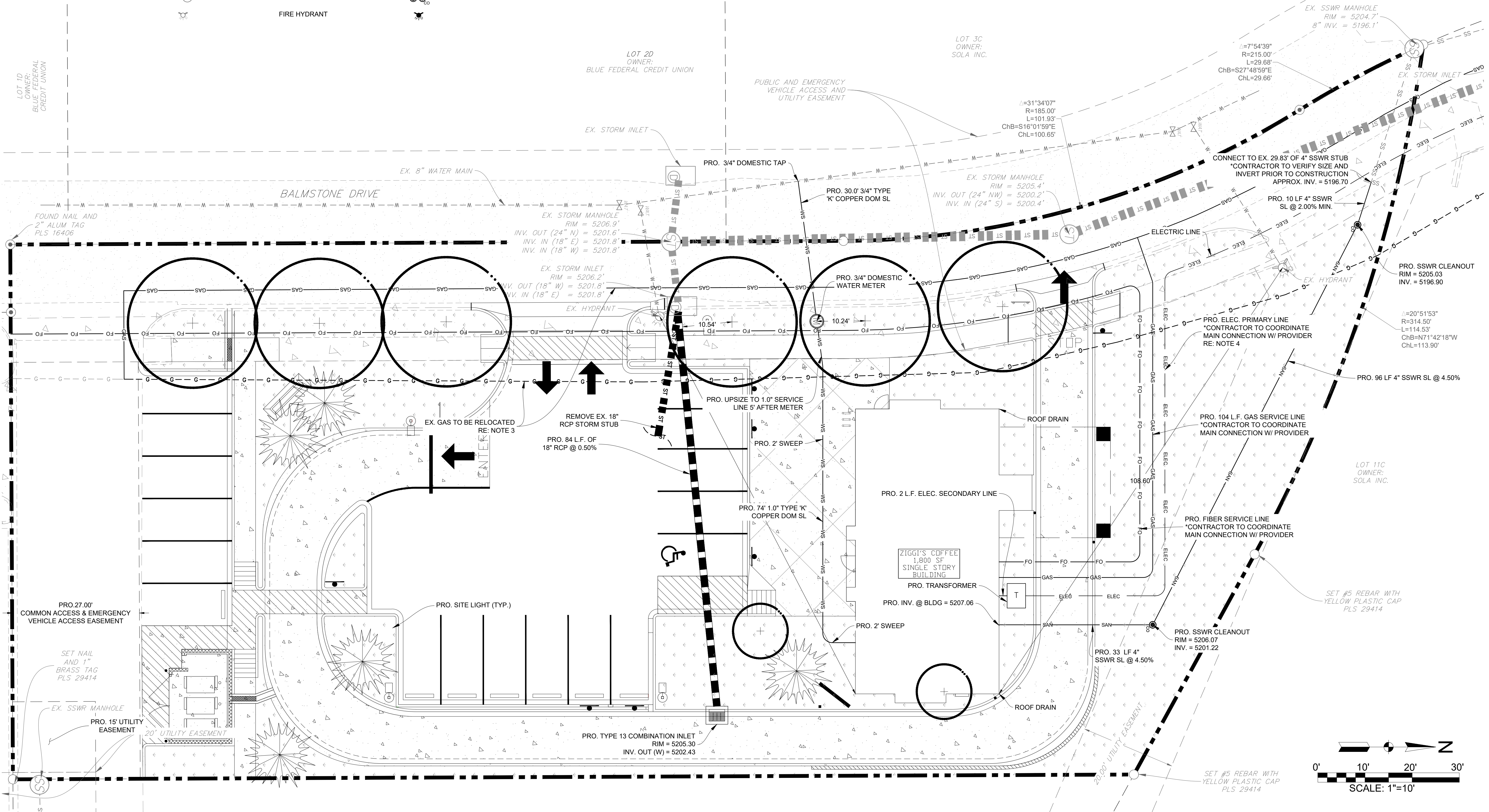
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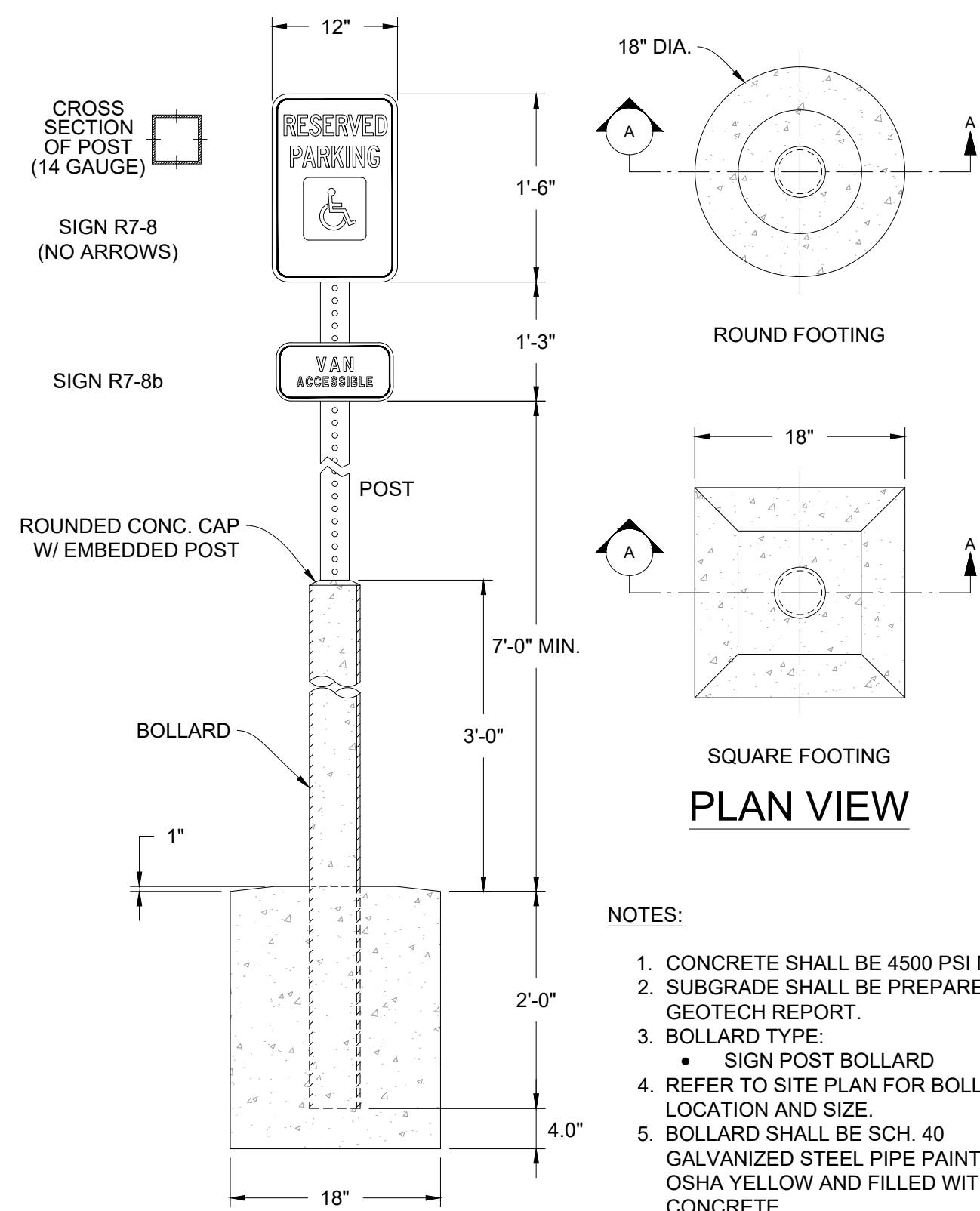
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Date Drawn	OCTOBER 30, 2020
Drawn By	TGG
Description	UTILITY PLAN
Sheet Number	C4.0



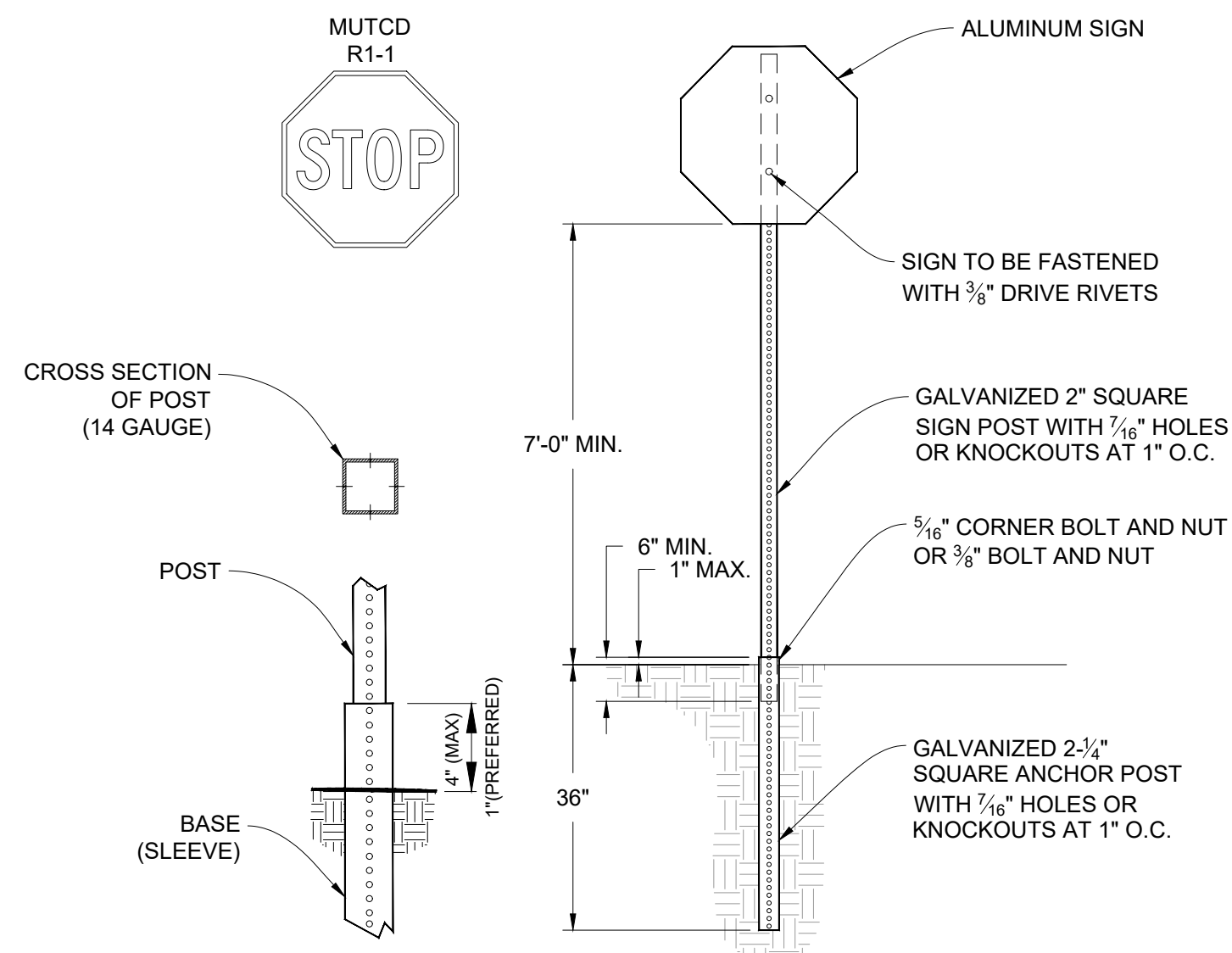






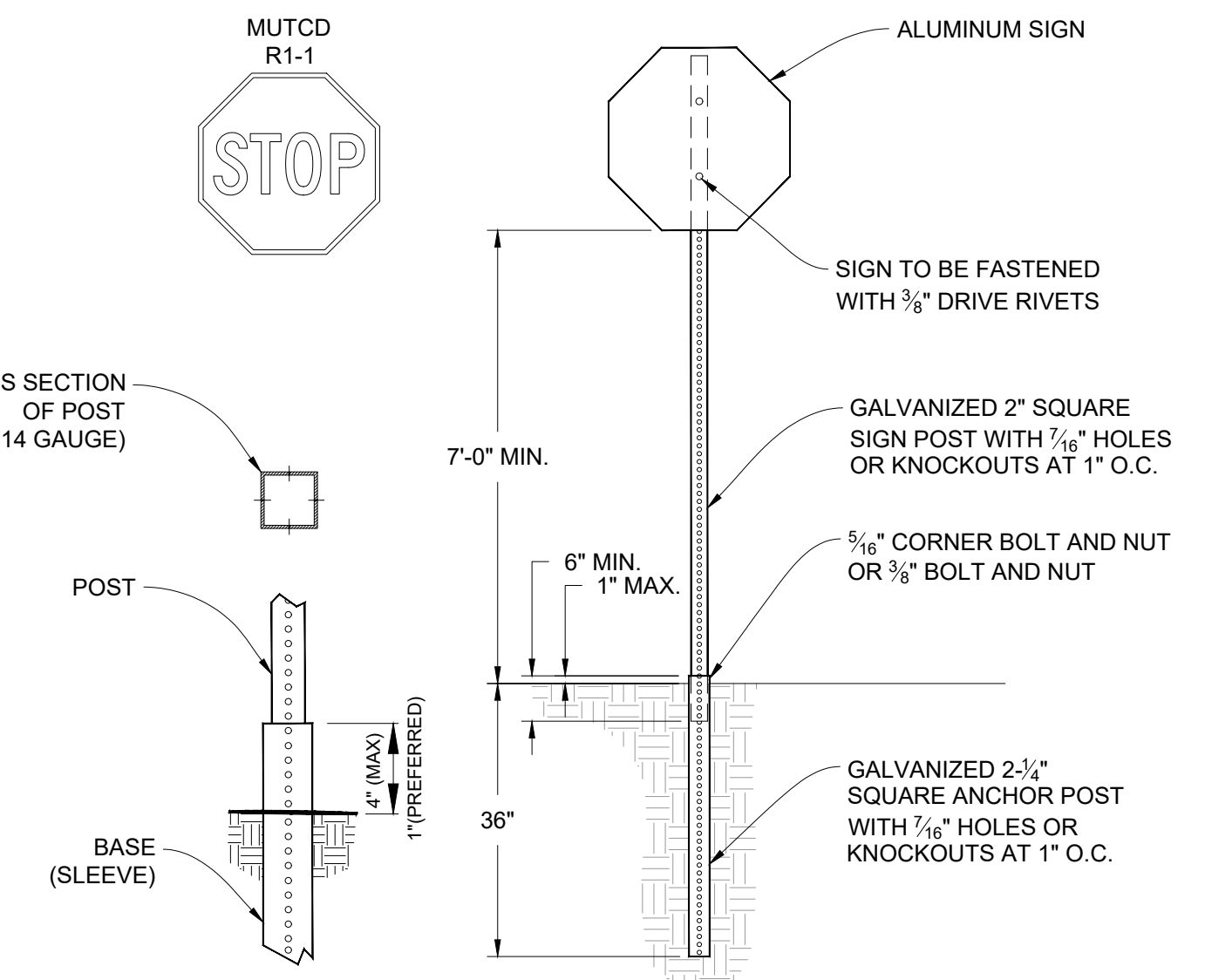


## SECTION A



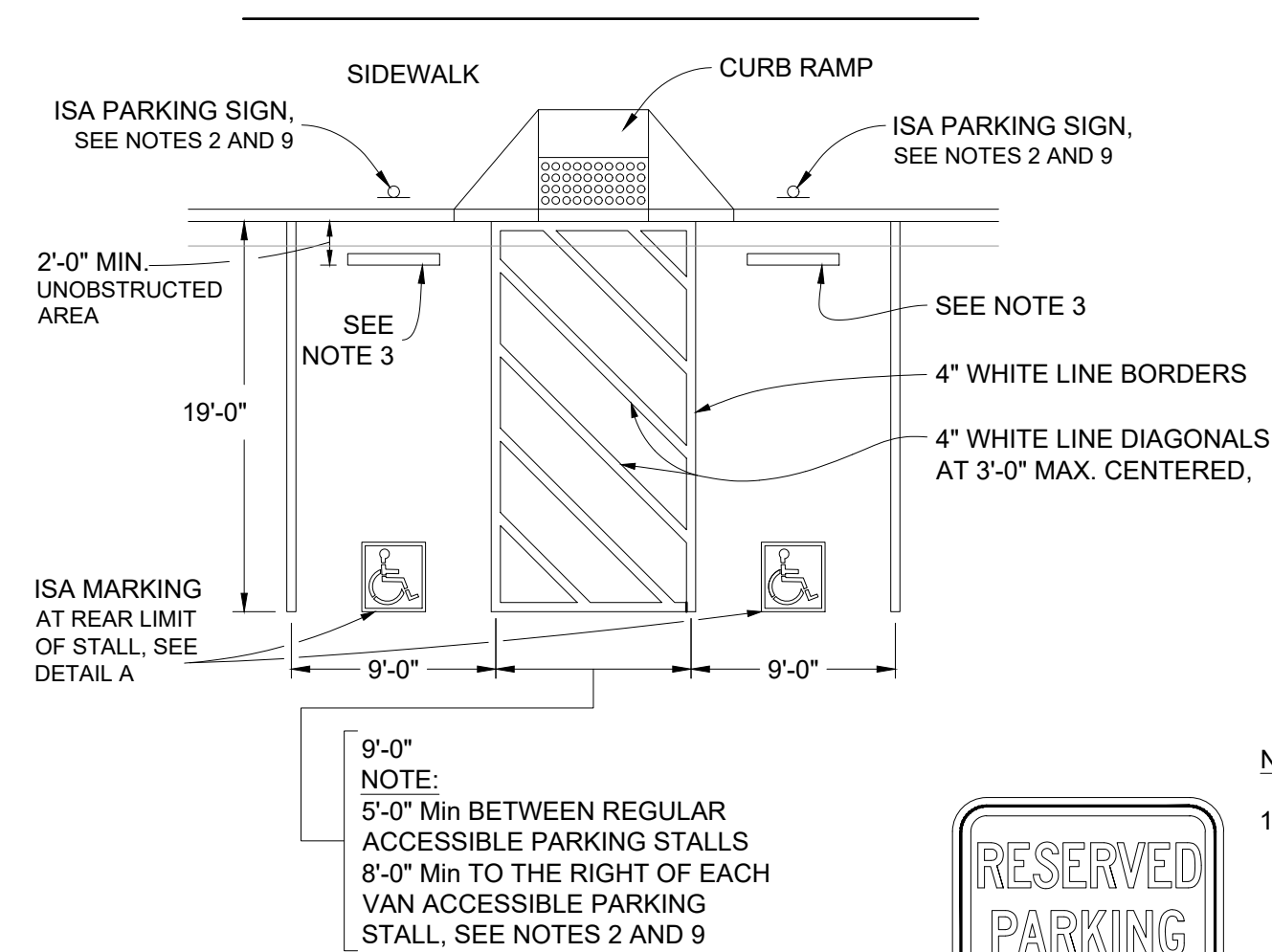
### TYPICAL BOLLARD W/ A.D.A. MOUNTED SIGN DETAIL

Scale: N.T.S.

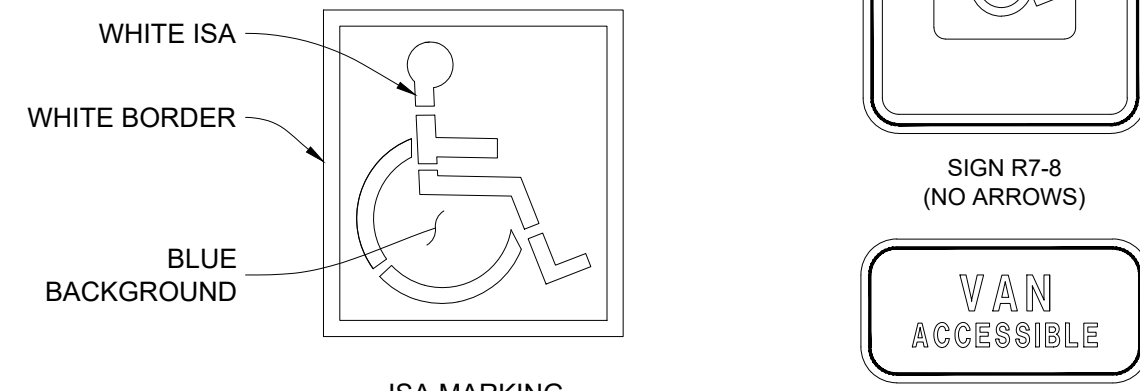


## TYPICAL STOP SIGN DETAIL

Scale: N.T.S.



## DOUBLE PARKING STALL



## TABLE A

TOTAL NUMBER OF PARKING SPACES PROVIDED IN PARKING FACILITY	MINIMUM NUMBER OF REQUIRED ACCESSIBLE PARKING SPACES
1-25	1
26-50	2
51-75	3
76-100	4
101-150	5
151-200	6
201-300	7
301-400	8
401-500	9
501-1000	2% OF TOTAL
1001 AND OVER	20 PLUS 1 FOR EACH 100 OR FRACTION THEREOF OVER 1000

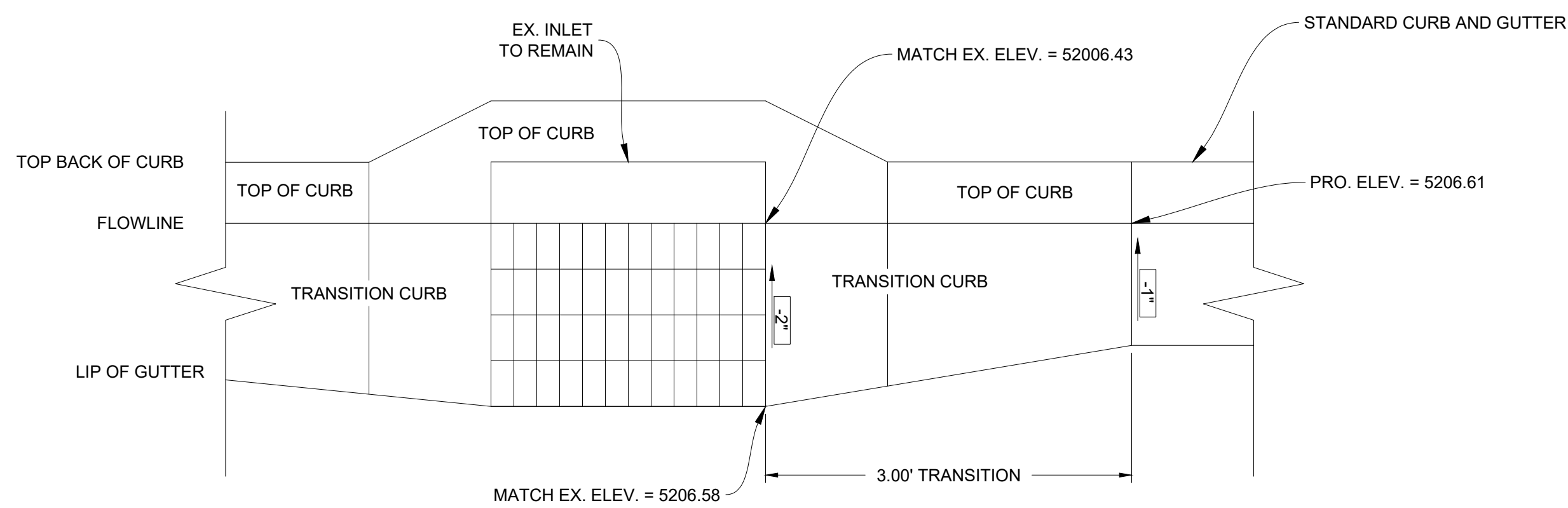
NOTES:

1. ACCESSIBLE PARKING SPACES SERVING A PARTICULAR BUILDING SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE ENTRANCE. IN PARKING FACILITIES THAT DO NOT SERVE A PARTICULAR BUILDING, ACCESSIBLE PARKING SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE OF TRAVEL TO AN ACCESSIBLE PEDESTRIAN ENTRANCE OF THE PARKING FACILITY.
2. ONE OF EVERY SIX ACCESSIBLE OFF-STREET PARKING STALLS, BUT NOT LESS THAN ONE, SHALL BE SERVED BY AN ACCESSIBLE AISLE OF 8'-0" MINIMUM WIDTH AND SHALL BE SIGNED VAN ACCESSIBLE. THE R7-8B SIGN SHALL BE MOUNTED BELOW THE R7-8P PLAQUE OR THE R7-8 SIGN.
3. IN EACH PARKING STALL, A CURB OR PARKING BUMPER SHALL BE PROVIDED IF REQUIRED TO PREVENT ENCROACHMENT OF VEHICLES OVER THE REQUIRED WIDTH OF WALKWAYS. PARKING STALLS SHALL BE SO LOCATED THAT PERSONS WITH DISABILITIES ARE NOT COMPELLED TO WHEEL OR WALK BEHIND PARKED VEHICLES OTHER THAN THEIR OWN.
4. PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS.
5. TABLE A SHALL BE USED TO DETERMINE THE REQUIRED NUMBER OF ACCESSIBLE PARKING STALLS IN EACH PARKING LOT OR GARAGE.
6. WHERE PLAQUE R7-8P, SIGN R7-8 OR SIGN R7-8b ARE INSTALLED, THE BOTTOM OF THE SIGN OR PLAQUE PANEL SHALL BE A MINIMUM OF 7'-0" ABOVE THE SURROUNDING SURFACE.
7. WHERE A SINGLE (NON-VAN) ACCESSIBLE PARKING SPACE IS PROVIDED, THE LOADING AND UNLOADING ACCESS AISLE SHALL BE ON THE PASSENGER SIDE OF THE VEHICLE AS THE VEHICLE IS GOING FORWARD INTO THE PARKING SPACE.
8. WHERE A VAN ACCESSIBLE PARKING SPACE IS PROVIDED, THE LOADING AND UNLOADING ACCESS AISLE SHALL BE 8'-0" WIDE MINIMUM, AND SHALL BE ON THE PASSENGER SIDE OF THE VEHICLE AS THE VEHICLE IS GOING FORWARD INTO THE PARKING SPACE.
9. ACCESSIBLE PARKING ONLY SIGN SHALL BE SIGN R7-8 WITH PLAQUE R7-8P.

LEGEND:  
ISA = International Symbol of Accessibility

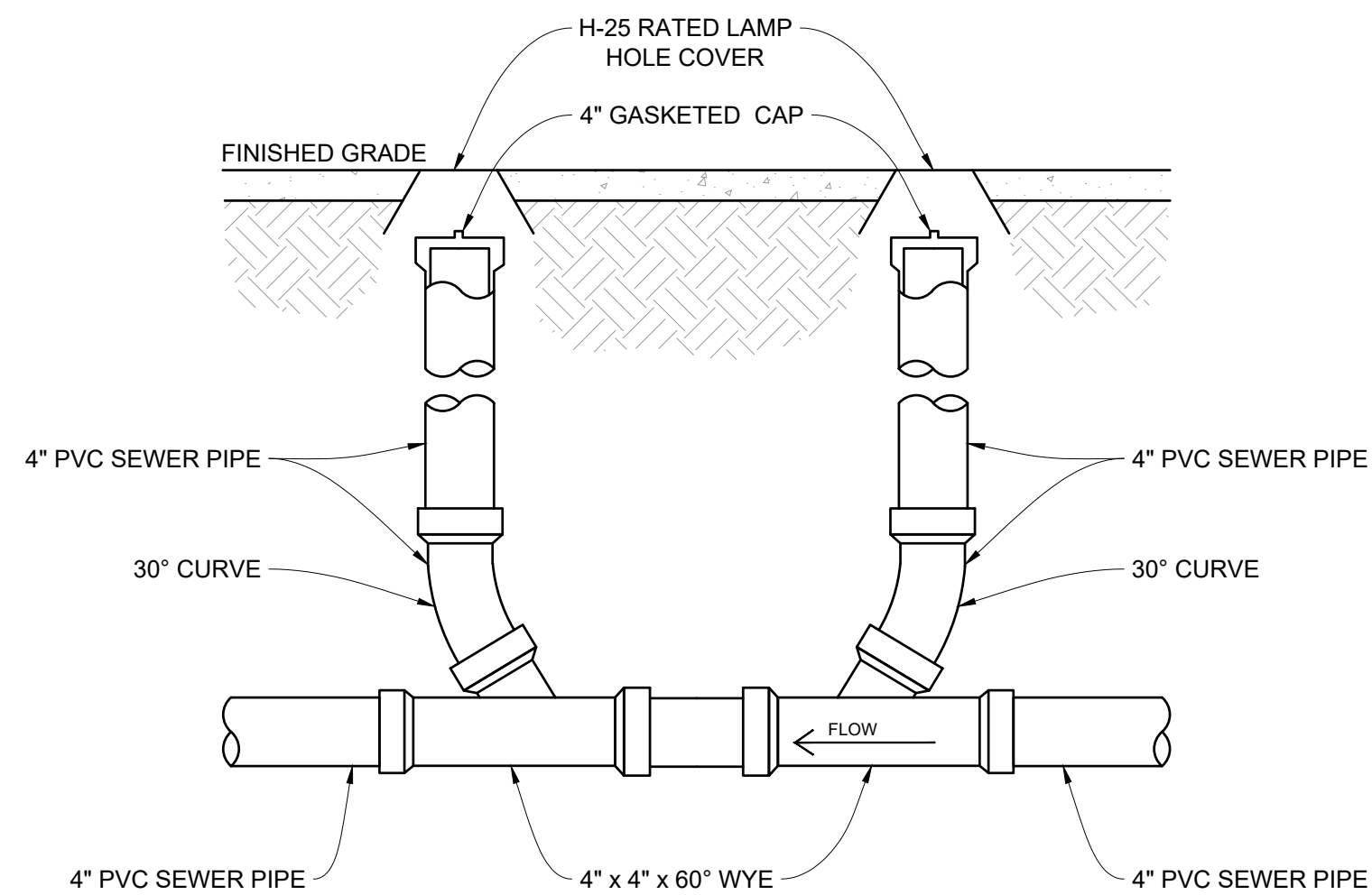
## A.D.A. RAMP AND PARKING DETAILS

Scale: N.T.S.



## TRANSITION CURB

Scale: N.T.S.



NOTES:

1. CLEANOUT SHALL BE CONSTRUCTED SO THAT SURFACE LOAD WILL NOT BE TRANSFERRED TO MAIN.
2. SERVICE LINE CLEANOUT MAY BE INSTALLED APPROXIMATELY 5 FEET OUTSIDE THE BUILDING FOUNDATION.
3. A CLEANOUT IS REQUIRED ON ALL SERVICE LINES EVERY 100 FEET, AT EVERY "Y" OR AFTER A COMBINED TOTAL OF 145' OF BEND.
4. USE PRE-FABRICATED WYE FITTINGS TO CONSTRUCT CLEANOUT ASSEMBLIES

## TWO-WAY SEWER C.O.

Scale: N.T.S.

Stamp

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ZIGGI'S COFFEE-LAFAYETTE

2396 BALMSTONE DRIVE  
LAFAYETTE, CO 80026

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Scale  
1"=10'-0"

Date Drawn

OCTOBER 30, 2020

Drawn By

TGG

Description

PRIVATE DETAILS (2)

Sheet Number

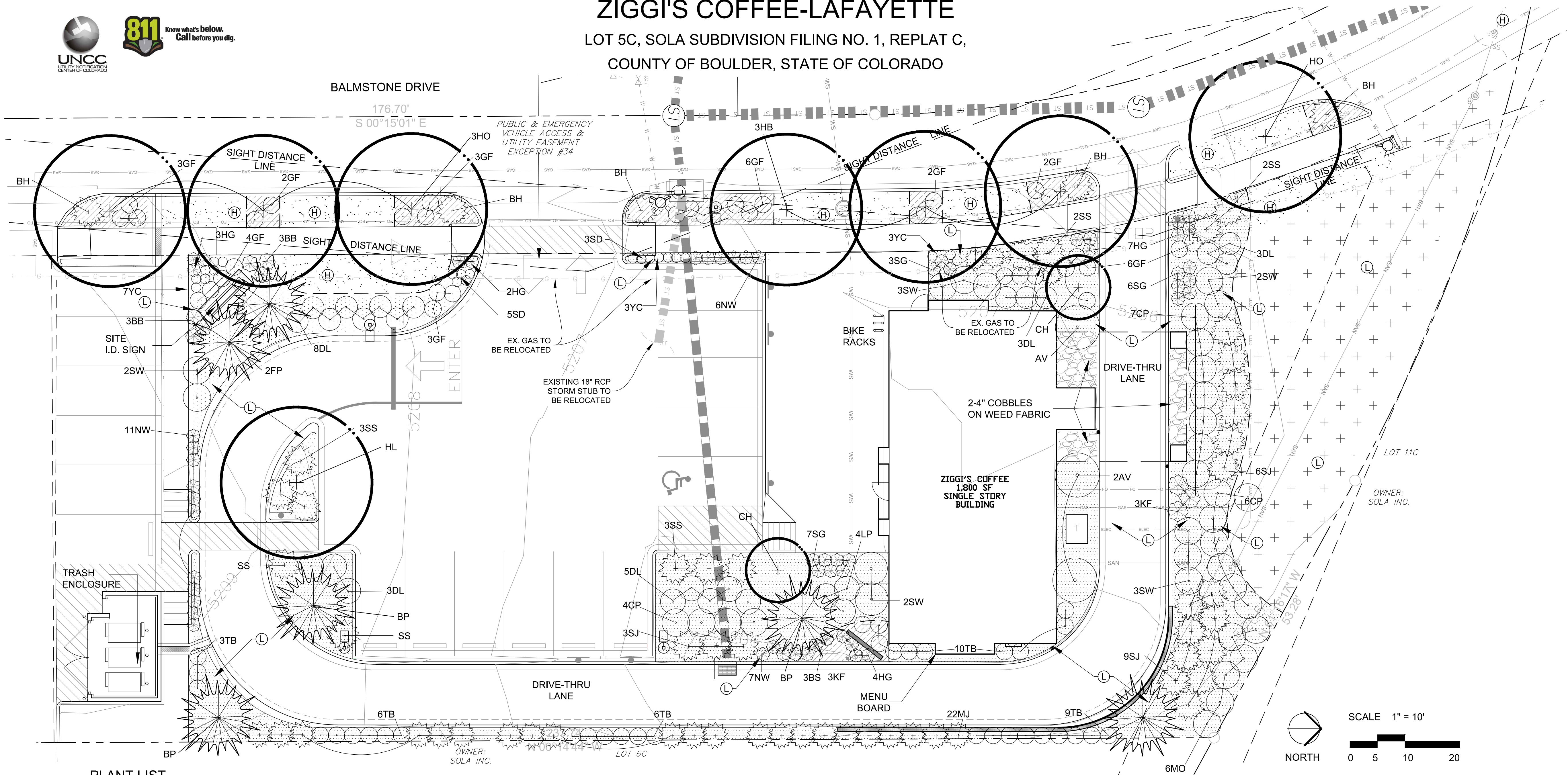
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# ZIGGI'S COFFEE-LAFAYETTE

LOT 5C, SOLA SUBDIVISION FILING NO. 1, REPLAT C,

COUNTY OF BOULDER, STATE OF COLORADO



## PLANT LIST

SYM	QTY.	BOTANICAL NAME	COMMON NAME	ZONE	SIZE	NOTES/REMARKS
DECIDUOUS TREES						
HO	4	Quercus 'Heritage'	Heritage Oak	Moderate	2.0" cal.	B&B; Straight trunk
HB	3	Celtis occidentalis 'Chicagoland'	Hackberry	Low-Mod	2.0" cal.	B&B; Straight trunk
HL	1	G. triacanthos inermis 'Shademaster'	Shademaster Honeylocust	Low-Mod	2.0" cal.	B&B; Straight trunk
ORNAMENTAL TREES						
CH	2	Pyrus calleryana 'Cleveland Select'	Cleveland Select Pear	Moderate	2.0" cal.	B&B; Straight trunk
EVERGREEN TREES						
BP	4	Pinus aristata	Bristlecone Pine	Moderate	6' Ht.	B&B; Full & bushy
FP	2	Pinus leucodermis 'Iseli Fastigiata'	Iseli Fastigiata Bosnian Pine	Moderate	6' Ht.	B&B; Full & bushy
DECIDUOUS SHRUBS						
AV	3	Viburnum rhytidophyloides 'Alleghany'	Alleghany Viburnum	Low-Mod	36-42" ht.	#5 Container
CP	10	Ligustrum vulgare 'Cheyenne'	Cheyenne Privet	Low-Mod	36-42" ht.	#5 Container
DL	24	Syringa patula 'Miss Kim'	Miss Kim Dwarf Lilac	Low-Mod	24-30" ht.	#5 Container
GF	31	Spiraea japonica 'Goldflame'	Goldflame Spirea	Low-Mod	15-18" ht.	#5 Container
LP	10	Ligustrum vulgare 'Lodense'	Lodense Privet	Low-Mod	18-21" ht.	#5 Container
MO	5	Philadelphus lewisii 'Cheyenne'	Cheyenne Mockorange	Low-Mod	30-36" ht.	#5 Container
SW	8	Physocarpus opulifolius 'Summer Wine'	Summer Wine Ninebark	Low-Mod	30-36" ht.	#5 Container
TB	26	Rhamnus frangula 'Columnaris'	Tallhedge Buckthorn	Low-Mod	36-42" ht.	#5 Container
EVERGREEN SHRUBS						
BH	2	Juniperus horizontalis 'Bar Harbor'	Bar Harbor Juniper	Low-Mod	9-12" ht.	#5 Container
MJ	15	Juniperus scopulorum 'Medora'	Medora Juniper	Low-Mod	36-42" ht.	#5 Container
SJ	15	Juniperus chinensis 'Spartan'	Spartan Juniper	Low-Mod	36-42" ht.	#5 Container
SR	7	Juniperus scopulorum 'Skyrocket'	Skyrocket Juniper	Low-Mod	36-42" ht.	#5 Container
SS	13	Juniperus sabina 'Sierra Spreader'	Sierra Spreader Juniper	Low-Mod	9-12" ht.	#5 Container
ORNAMENTAL GRASSES / PERENNIALS						
BB	6	Andropogon gerardii 'Windwalker'	Windwalker Big Bluestem	Low-Mod	21-24" ht.	#5 Container
HO	16	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass	Low-Mod	12-15" ht.	#1 Container
NW	22	Panicum virgatum 'Northwind'	Northwind Switch Grass	Low-Mod	12-15" ht.	#1 Container
SD	5	Leucanthemum x superbum 'Silver Princess'	Dwarf Shasta Daisy	Low-Mod	12-15" ht.	#1 Container
SG	22	Panicum virgatum 'Shenandoah'	Shenandoah Red Switch Grass	Low-Mod	12-15" ht.	#1 Container
YC	10	Echinacea paradoxa	Yellow Coneflower	Low-Mod	12-15" ht.	#1 Container

1. PLANTS SHALL BE HEALTHY & WELL-ESTABLISHED B&B OR CONTAINER STOCK AND CONFORM TO STANDARDS IN THE 'AMERICAN STANDARDS FOR NURSERY STOCK, LATEST EDITION. NUMBER OF CANES SHALL BE PER ANSI Z60.1-2014 AND MINIMUM SIZE SHALL BE AS LISTED ABOVE.

2. IN THE EVENT OF A DISCREPANCY BETWEEN THE QUANTITY OF PLANTS SHOW SYMBOLICALLY ON THE PLAN AND THE PLANT, THE PLAN SYMBOLS SHALL TAKE PRECEDENCE. THE CONTRACTOR SHALL NOTIFY THE OWNER OF DISCREPANCIES PRIOR TO BIDDING.

## SEED MIX (LOW GROW) SHALL BE:

25% EPHRAIM CRESTED WHEATGRASS  
23% SHEEP FESCUE  
18% PERENNIAL RYEGRASS  
13% CANADA BLUEGRASS  
12% BARLEY OR OATS  
9% BLUE FESCUE

RATE:  
25 LBS. / ACRE- DRILLED  
50 LBS. / ACRE- BROADCAST

## PROPOSED WATER-USE CALCULATIONS

ZONE	AREA	GALS.
High Water Zones: (Irrigated turf)	930 S.F. x (20 GALS. PER S.F./ SEASON) =	18,600 GALS. PER S.F./ SEASON
Moderate Water Zones: (Proposed beds)	4,591 S.F. x (10 GALS. PER S.F./ SEASON) =	45,910 GALS. PER S.F./ SEASON
Low Water Zones: (Irrigated native seeding)	1,976 S.F. x (3 GALS. PER S.F./ SEASON) =	5,928 GALS. PER S.F./ SEASON
Very Low Water Zones:	0 S.F. x (0 GALS. PER S.F./ SEASON) =	0 GALS. PER S.F./ SEASON
TOTAL gallons needed by ALL ZONES		70,438 GALS. PER S.F./ SEASON
TOTAL Square Feet (S.F.) of ALL ZONES		7,497 S.F. (INCLUDES R.O.W.)
AVERAGE GALS./S.F./SEASON, ALL ZONES: (Total Gals. / Total S.F.)		9.39 GALS. PER S.F./ SEASON

## WATER USE LEGEND

(H)	'HIGH' HYDROZONE
(M)	'MODERATE' HYDROZONE
(L)	'LOW' HYDROZONE
(VL)	'VERY LOW' HYDROZONE

NOTE: ALL SOD IS "HIGH" WATER ZONE; ALL BED IS "MODERATE" WATER ZONE.

## PLANTS REQUIRED

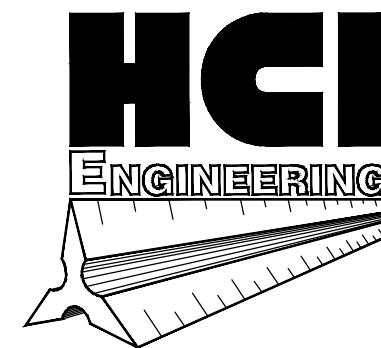
TOTAL LANDSCAPE AREA:	7,497 S.F.
Trees Required (1 per 1000 S.F.):	8
Trees PROVIDED:	8
Trees Required (1 per 40 L.F. frontage):	6
Trees PROVIDED:	7
Shrubs Required (1 per 150 S.F.):	50
SHRUBS PROVIDED:	126

## LEGEND

	DECIDUOUS TREE
	ORNAMENTAL TREE
	EVERGREEN TREE
	DECIDUOUS SHRUB
	EVERGREEN SHRUB
	ORNAMENTAL GRASS
	PERENNIALS
	SOD
	PROPOSED ROCK MULCH
	PROPOSED COBBLES
	PROPOSED WOOD MULCH
	SEEDING
	EDGER



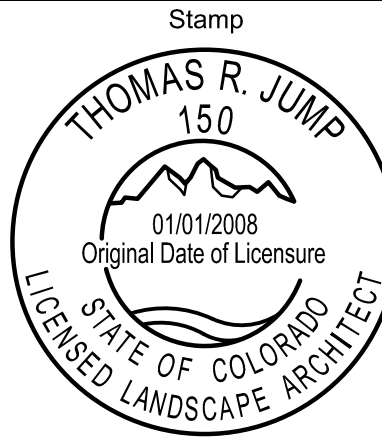
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SUBMITTAL #3	05.14.21
SUBMITTAL #4	07.02.21
Scale	
Varies	
Date Drawn	
OCTOBER 23, 2020	
Drawn By	
JDC	
Description	
Landscape Plan	
Sheet Number	

L1.0







LOT 5C, SOLA SUBDIVISION FILING NO. 1, REPLAT C,  
COUNTY OF BOULDER, STATE OF COLORADO



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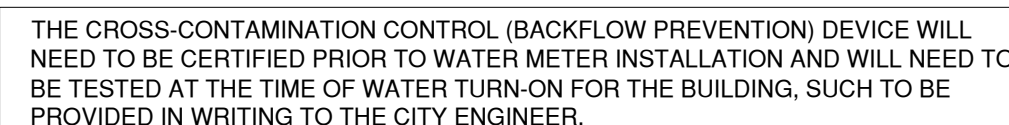
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SUBMITTAL #1	10.26.20
SUBMITTAL #2	01.26.2
SUBMITTAL #3	05.14.2
SUBMITTAL #4	07.02.2

110

## 11.0



## Irrigation Construction Notes

1. ALL BASE INFORMATION HAS BEEN TAKEN FROM DRAWINGS PREPARED BY JUMP DESIGN CO.
  2. REFER TO TECHNICAL SPECIFICATIONS AND CONSTRUCTION DETAILS FOR INSTALLATION PROCEDURES.
  3. CONTRACTOR SHALL FIELD VERIFY PRESSURE AT BACKFLOW PREVENTER LOCATION FOR EACH TAP PRIOR TO ORDERING MATERIALS OR STARTING ANY IRRIGATION INSTALLATION AND NOTIFY CONSULTANT OF ANY DIFFERENCES FROM STATED PRESSURE. IF CONTRACTOR FAILS TO NOTIFY CONSULTANT HE ASSUMES FULL RESPONSIBILITY FOR ANY SYSTEM ALTERATIONS. SYSTEM HAS BEEN DESIGNED FOR A STATIC PRESSURE OF 65 PSI (PER CITY OF LAFAYETTE).

<u>TAP LOCATION/NUMBER</u>	<u>REQUIRED PRESSURE</u>
1	65 PSI

  4. CONTRACTOR SHALL COORDINATE INSTALLATION OF SLEEVING WITH INSTALLATION OF CONCRETE FLOWTANK AND PAVING. ALL SLEEVING IS BY CONTRACTOR UNLESS OTHERWISE NOTED. UNLESS NOTED OTHERWISE ON IRRIGATION PLANS INSTALL SLEEVING BASED ON SLEEVE SIZING GUIDE BELOW:

<u>PIPE SIZE OR WIRE QUANTITY</u>	<u>REQUIRED SLEEVE</u>
3/4" - 1" PIPING	1-2" PVC SLEEVE
1-1/2" - 2" PIPING	1-4" PVC SLEEVE
1-25 CONTROL WIRES	1-2" PVC SLEEVE

NOTE: EACH LENGTH OF SLEEVED PIPE SHOWN SHALL BE ROUTED THROUGH SEPARATE SLEEVE. IRRIGATION WIRE BUNDLE SHALL BE ROUTED IN SEPARATE SLEEVE/CONDUIT WITHOUT IRRIGATION PIPING

  5. WHERE NOT NOTED ON IRRIGATION PLANS CONTRACTOR TO INSTALL PLASTIC 15 SERIES NOZZLES ON POP-UP SPRAY HEADS SPACED GREATER THAN 12 FEET. INSTALL 12 SERIES NOZZLES ON POP-UP SPRAY HEADS SPACED 10-12 FEET. INSTALL 10 SERIES NOZZLES ON ALL POP-UP SPRAY HEADS SPACED 8-10 FEET. INSTALL 8 SERIES NOZZLES ON POP-UP SPRAY HEADS SPACED 8 FEET AND LESS.
  6. REFER TO PLANTING PLAN FOR EXACT TREE LOCATIONS AND QUANTITIES. TREES SHOWN ON IRRIGATION PLANS ARE APPROXIMATE.
  7. CONTRACTOR SHALL REPAIR OR REPLACE ANY EXISTING IRRIGATION EQUIPMENT. TURF, PLANT MATERIAL OR SITE FEATURES DAMAGED DURING NEW INSTALLATION, REPLACEMENT OR REPAIR OF DAMAGED EQUIPMENT OR MATERIAL SHALL BE REPLACED BY THE OWNER AND THE CONSULTANT.
  8. VALVE BOXES SHALL BE LOCATED 36" MINIMUM FROM CENTERLINE OF ALL SWALES, 24" MINIMUM FROM EDGES OF ALL WALKS, CURBS, DRIVES AND OTHER HARD SURFACE AREAS.
  9. REFER TO IRRIGATION TECHNICAL SPECIFICATIONS FOR PLANTING AND IRRIGATION LAYOUT REQUIREMENTS. COORDINATION AND PRIORITIES.
  10. LATERAL PIPING DIAMETERS SHALL INCLUDE 1", 3/4" AND 1 1/4" DIAMETER LATERAL PIPE IS NOT ACCEPTABLE.
  11. CONTRACTOR IS RESPONSIBLE TO WINTERIZE THE IRRIGATION SYSTEM IN THE FALL OF THE YEAR IN WHICH THE IRRIGATION & LANDSCAPE WAS ACCEPTED. CONTRACTOR SHALL ALSO PERFORM SYSTEM START-UP IN APRIL OF THE FOLLOWING SPRING.
  12. ALL IRRIGATION WIRE SHALL BE #14 AWG UFIL WIRE WITH SINGLE, SOLID COPPER CONDUCTOR AND POLYETHYLENE INSULATION (MULTI-CONDUCTOR WIRE IS NOT ACCEPTABLE).  
WIRE COLORS SHALL BE: CONTROL WIRES - RED, COMMON WIRE - WHITE, SPARE WIRES - BLACK.  
MASTER VALVE - BLUE.  
WATERTIGHT WIRE SPLICES SHALL BE MADE WITH 3M CO. DBRY-6 SPLICE KITS.
  13. ALL VALVE BOXES SHALL BE MANUFACTURED BY CARSON INDUSTRIES. MODELS SHALL BE AS FOLLOWS:  
#910-10: QUICK COUPLING VALVES, DRIP LINE BLOW-OUT STUBS, GATE VALVES, DRAIN VALVES.  
#1419-12: ELECTRIC CONTROL VALVES.  
#1220-12: DRIP VALVES ASSEMBLIES, MASTER VALVE BOXES AND UDS SHALL BE GREEN.
  14. CONTRACTOR SHALL WARRANTY ALL WORK (MATERIALS, EQUIPMENT AND WORKMANSHIP) FOR A ONE-YEAR PERIOD FOLLOWING FINAL ACCEPTANCE OF LANDSCAPE AND IRRIGATION BY OWNER.
  15. THE IRRIGATION BACKFLOW DEVICE WILL NEED TO BE TESTED AND CERTIFIED PRIOR TO THE WATER METER INSTALLATION AND WILL NEED TO BE TESTED AT THE TIME OF WATER TURN ON FOR THE BUILDING. TESTING TO BE COORDINATED AND PAID BY CONTRACTOR.



SCALE 1" = 10'



**PLANNING & LANDSCAPE  
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# ZIGGI'S COFFEE-LAFAYETTE

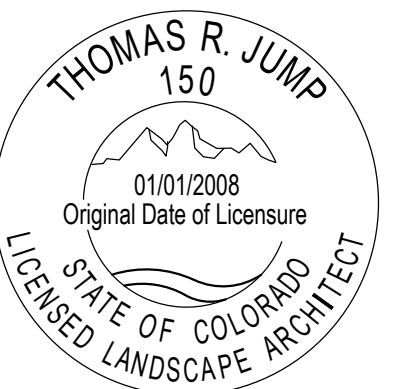
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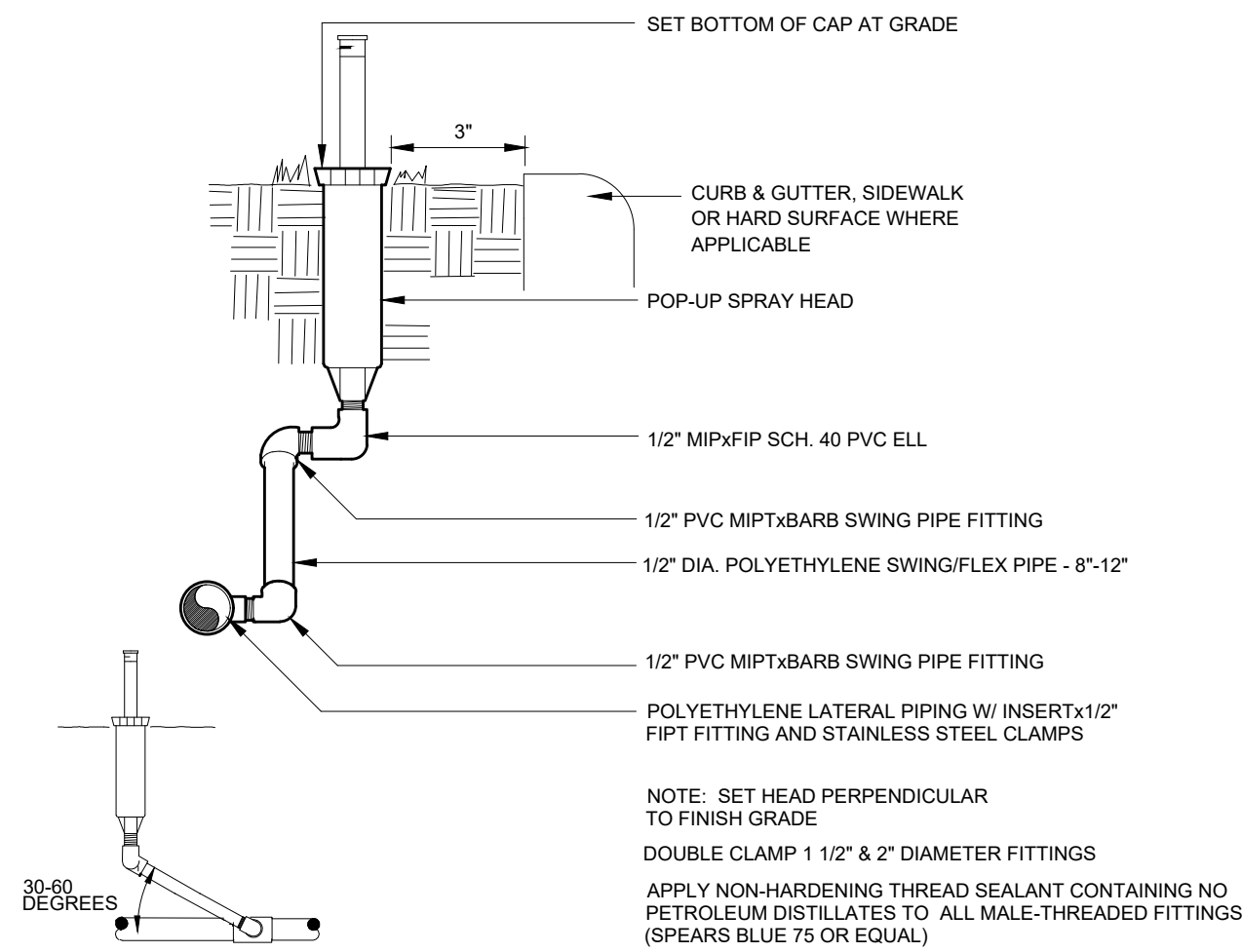
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ZIGGI'S COFFEE-LAFAYETTE

2386 BALMSTONE DRIVE  
LAFAYETTE, CO 80026



## POP-UP SPRAY HEAD

1

## ELECTRIC CONTROL VALVE

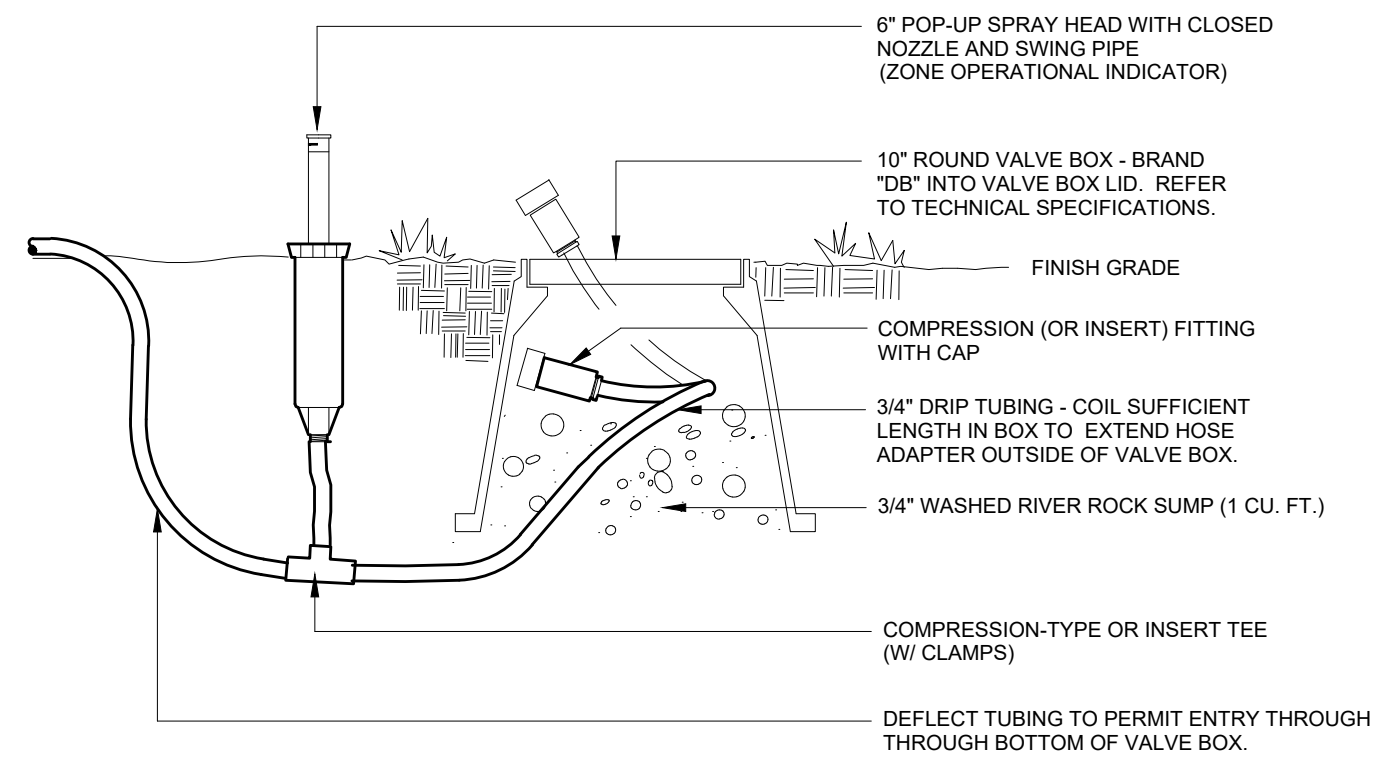
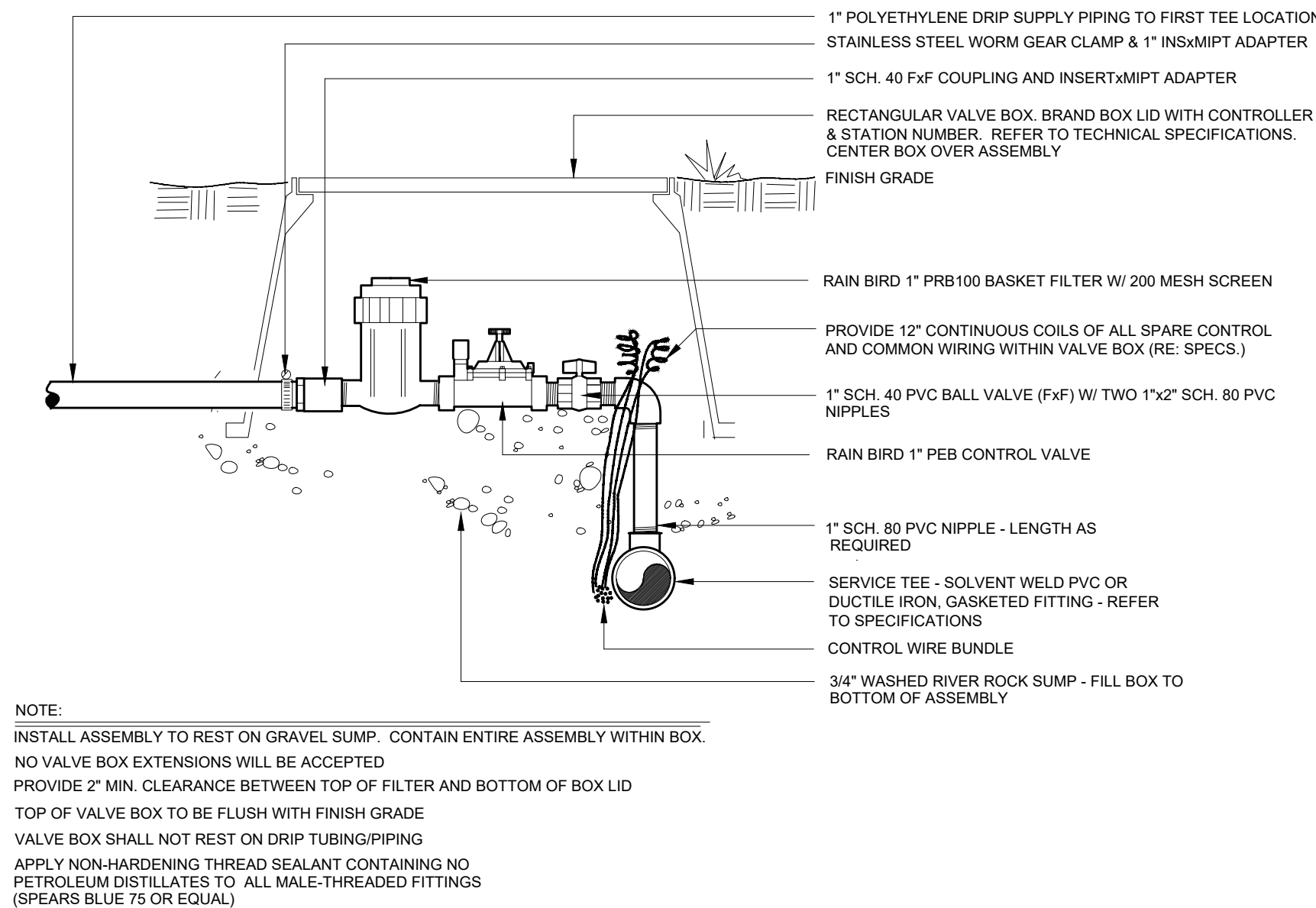
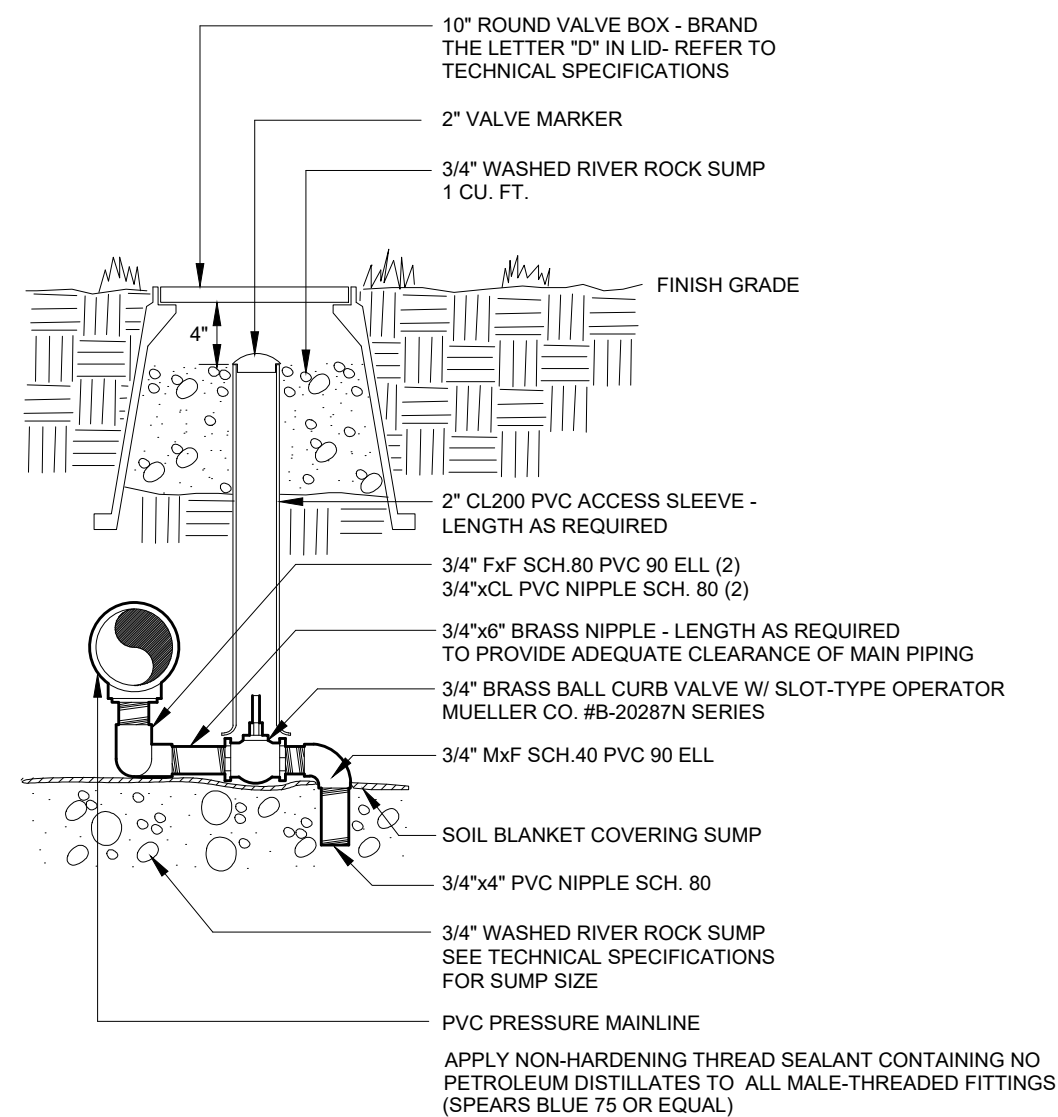
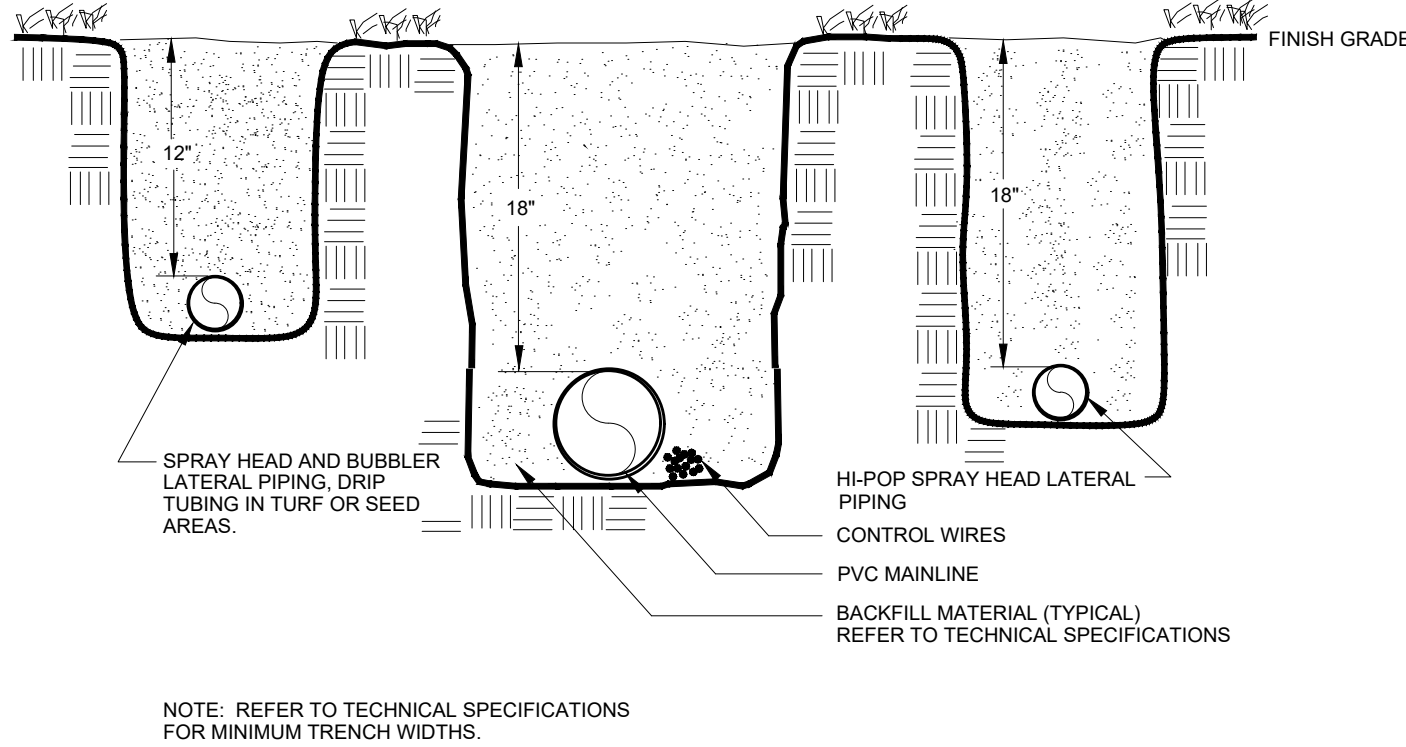
2

## QUICK COUPLING VALVE

3

## MASTER VALVE

4



## TRENCHES

5

## MANUAL DRAIN VALVE

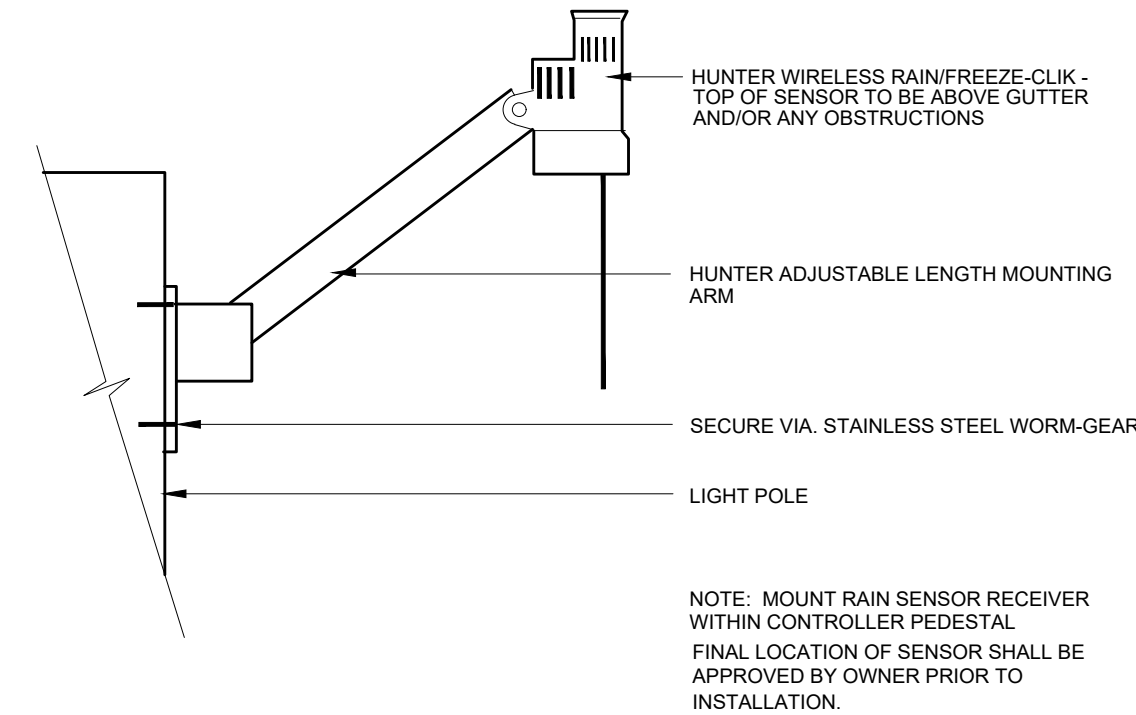
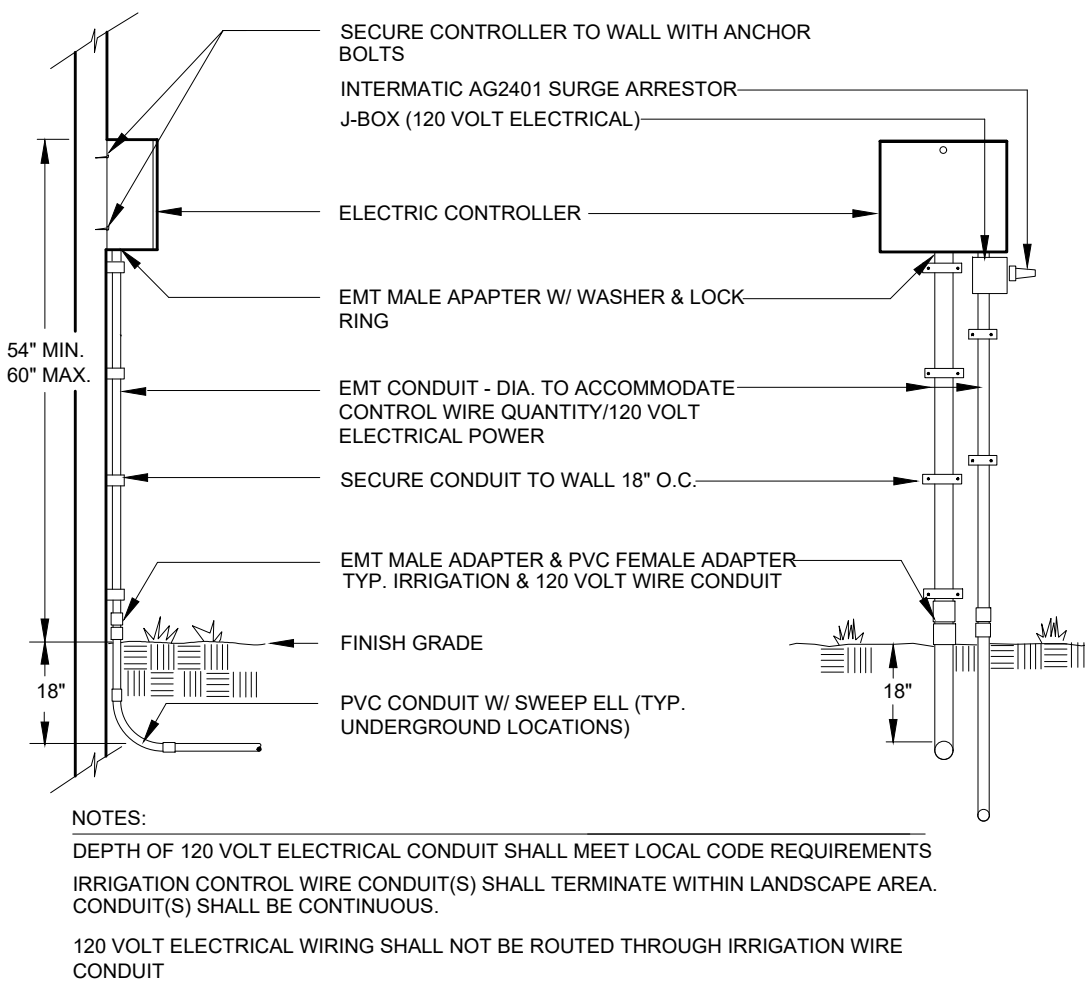
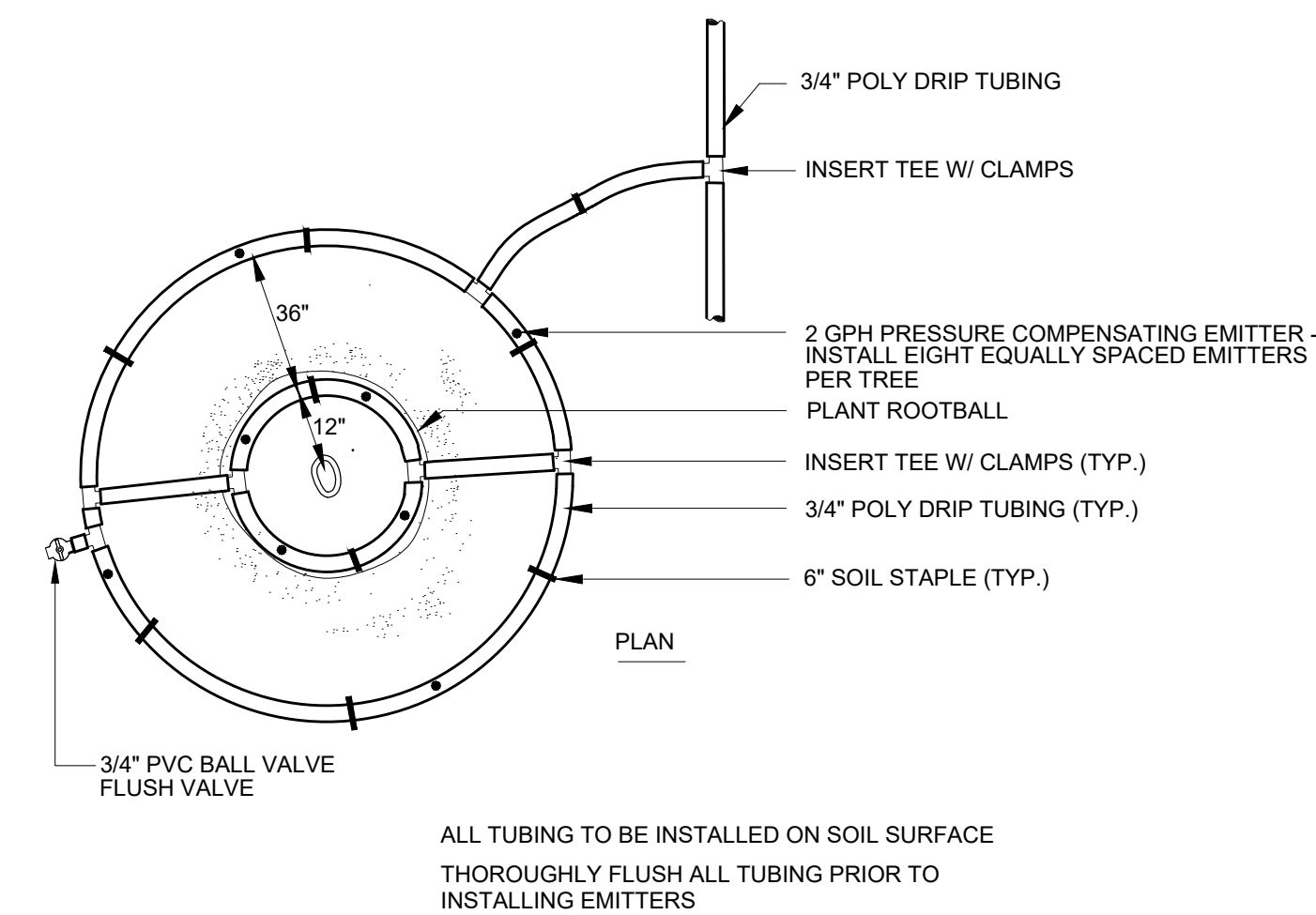
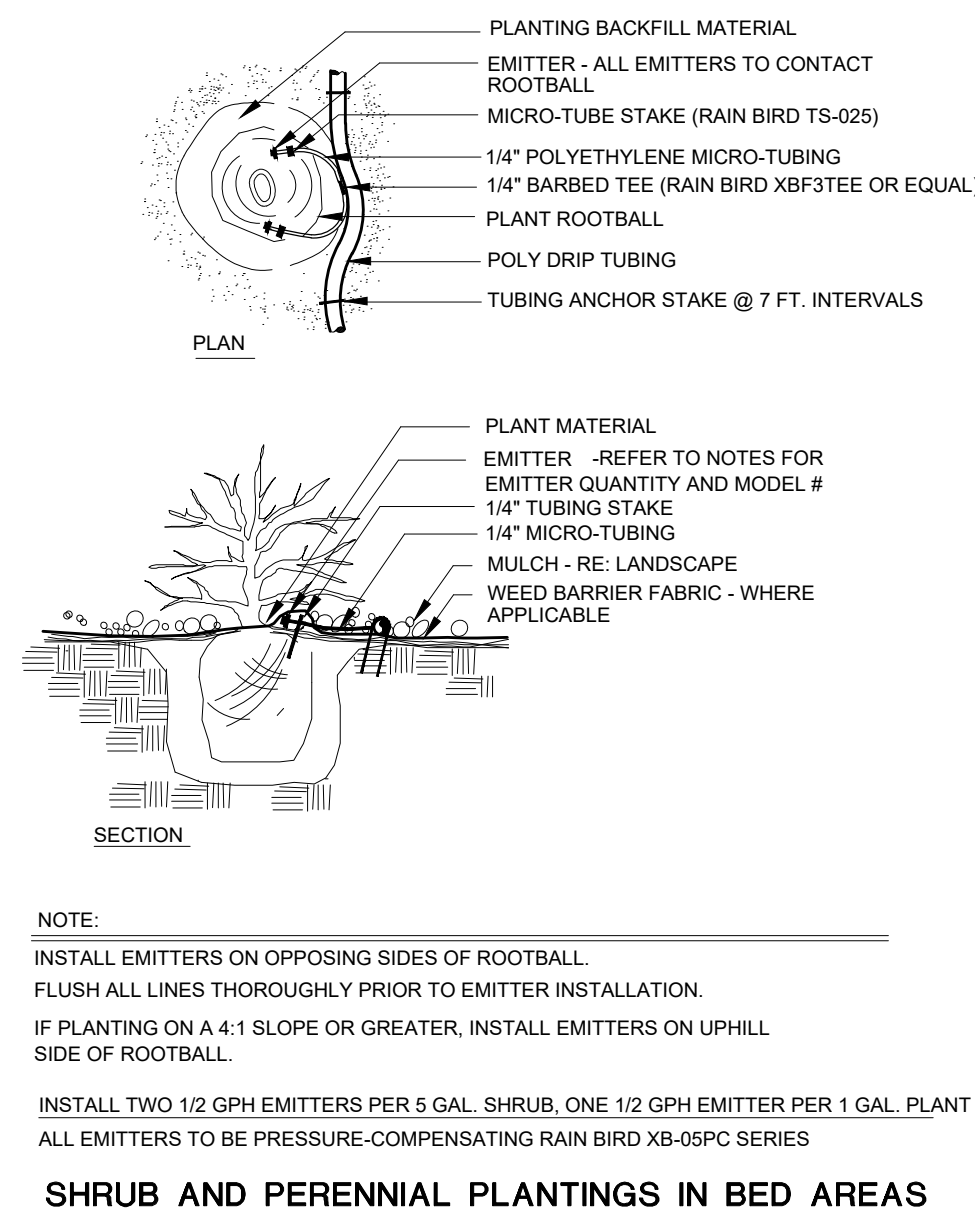
6

## DRIP VALVE ASSEMBLY

7

## DRIP LINE FLUSH-OUT AND OPERATIONAL INDICATOR

8



## DRIP EMITTER

9

## TREE RING IRRIGATION

DETAIL APPLIES TO TREES PLANTED IN MULCHED BEDS.

10

## ELECTRIC CONTROLLER

11

## RAIN/FREEZE SENSOR

12

Sheet Number

11.1



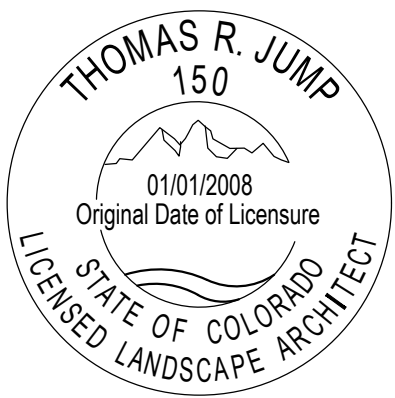
# ZIGGI'S COFFEE-LAFAYETTE

LOT 5C, SOLA SUBDIVISION FILING NO. 1, REPLAT C,  
COUNTY OF BOULDER, STATE OF COLORADO

**MAH**  
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Stamp



Notes

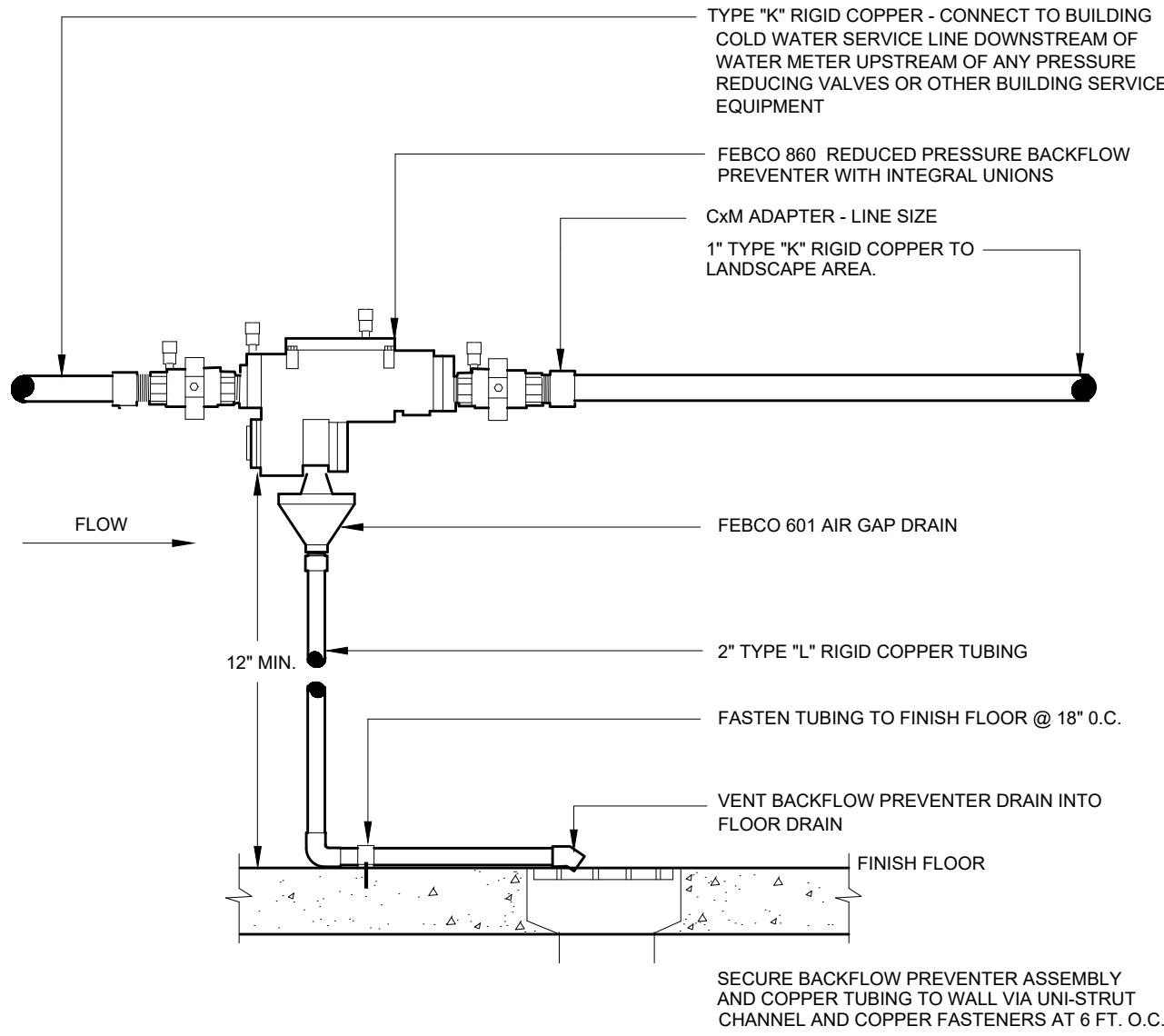
DO NOT SCALE THE DRAWINGS.

Request verification of dimensions from the Architect as required.

The General Contractor shall check and verify all levels, datums and dimensions and shall report any and all errors and omissions to the Architect immediately.

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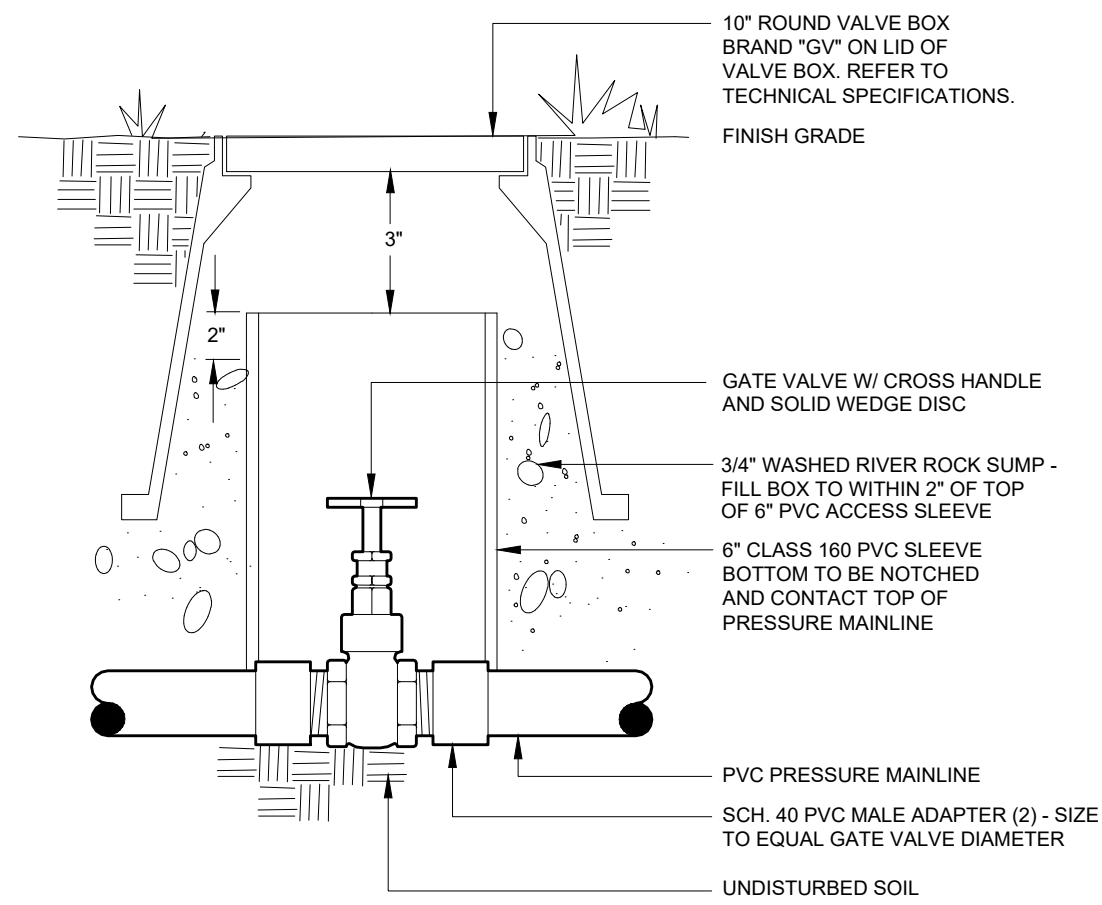
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THE IRRIGATION BACKFLOW DEVICE WILL NEED TO BE TESTED AND CERTIFIED PRIOR TO THE WATER METER INSTALLATION AND WILL NEED TO BE TESTED AT THE TIME OF WATER TURN ON FOR THE BUILDING. TESTING TO BE COORDINATED AND PAID BY CONTRACTOR.

## BACKFLOW PREVENTER

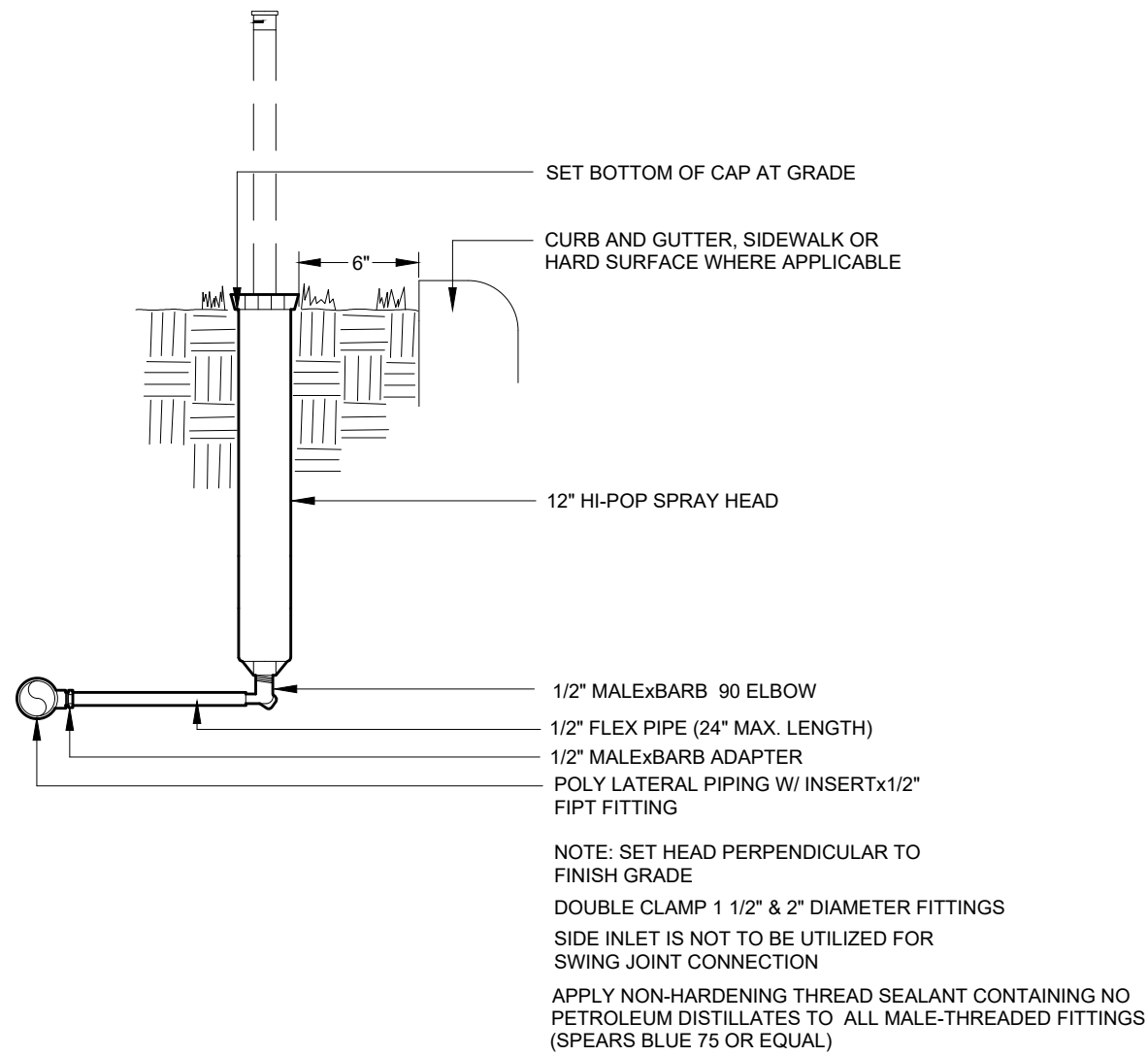
13



APPLY NON-HARDENING THREAD SEALANT CONTAINING NO PETROLEUM DISTILLATES TO ALL MALE-THREADED FITTINGS (SPEARS BLUE 75 OR EQUAL)

## GATE VALVE

14



## HI-POP SPRAY HEAD

15

ZIGGI'S COFFEE-LAFAYETTE

2396 BALMSTONE DRIVE  
LAFAYETTE, CO 80026

Issues:

SUBMITTAL #1	10.26.20
SUBMITTAL #2	01.26.21
SUBMITTAL #3	05.14.21
SUBMITTAL #4	07.02.21

Scale

Not to Scale

Date Drawn

OCTOBER 23, 2020

Drawn By

DCZ

Description

Irrigation Details

Sheet Number

11.2